



STATE OF NEW YORK
OFFICE OF GENERAL SERVICES
DESIGN AND CONSTRUCTION GROUP
THE GOVERNOR NELSON A. ROCKEFELLER
EMPIRE STATE PLAZA
ALBANY, NY 12242



ADDENDUM NO. 2 TO PROJECT NO. 44579

**PLA PROJECT
CONSTRUCTION WORK
MANHATTAN FORENSIC RELOCATION
BID PACKAGE 1: DEMOLITION, ASBESTOS REMOVAL
STRENGTHEN FLOOR SLABS &
WINDOW REPLACEMENT
MANHATTAN PSYCHIATRIC CENTER
BUILDING No. 102
600 EAST 125th STREET
WARDS ISLAND, NY 10035**

July 7, 2014

NOTE: This Addendum forms a part of the Contract Documents. Insert it in the Project Manual. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

CONTRACTING REQUIREMENTS

1. DOCUMENT 007326 SUPPLEMENTARY CONDITIONS: This supplement modifies Article 2 of the General Conditions by adding paragraph 2.24.

SPECIFICATIONS

2. 012200 COST COMPUTATIONS: Discard the Section bound in the Project Manual and substitute the accompanying Sections (pages 012200 – 1 thru 012200 – 6) noted “Updated 06/26/2014”.

DRAWINGS

3. Addendum Drawings:
 - a. Fire Protection Drawing No. FPT-009-2, FPT-100-2, FPT-101-2, FPT-102-2, FPT-103-2, FPT-112-2, and FPT-116-2, noted “ADDENDUM #2 dated 6/30/2014” accompany this Addendum and forms part of the Contract Documents.
4. Revised Drawings:
 - a. Drawing Nos. G-005, G-008, S-100-2, S-101-2, S-102-2, S-103-2, S-104-2, S-105-2, S-106-2, S-107-2, S-108-2, S-109-2, S302-2, SD-002, SD-100-2, AD-800, AD-800.1, WI-801, ED-101-2 and ED102-2, noted “ADDENDUM #2 dated 6/30/2014” accompany this Addendum and supersede the same numbered originally issued drawings.
5. Drawings AD-100-2 through AD-116-2:
 - a. Revise Keyed Demolition Note 17 and the Symbol List found on these Drawings with the revisions shown on SK-1 noted Addendum #2 dated 6/30/2014, which accompanies this Addendum.

6. Drawing No. PD-001:
 - a. Add the following to the Plumbing Demolition Notes:

“7. IN CERTAIN AREAS, PLUMBING PIPING IS BEING SUPPORTED BY CONCRETE FLOORS THAT WILL BE DEMOLISHED DURING THIS PROJECT. CONTRACTOR SHALL LOCATE SUCH AREAS AND PROVIDE NEW SUPPORTS FOR ALL SUCH SECTIONS OF PIPING IN ACCORDANCE WITH SECTION 308 OF THE NYS PLUMBING CODE PRIOR TO FLOOR DEMOLITION.”

7. Drawing Nos. PD-099-2B, PD-100-2 and PD-101-2:
 - a. Add the following to the Drawing Notes:

“3. ALL RISERS LOCATED AT COLUMN LINE K-16 TO REMAIN, INCLUDING: 5” ST, 8” CW, 6’ CW, 3” HW, (2) 1 ½ “HWR.”

END OF ADDENDUM

Margaret F. Larkin
Acting Executive Director

DOCUMENT 007326

SUPPLEMENTARY CONDITIONS

This supplement modifies the General Conditions. Where any part of the General Conditions is modified by this supplement, the unaltered provision of that part shall remain in effect.

ARTICLE 2 – DEFINITIONS

Add paragraph 2.24:

2.24 The term “Notice of Direction” shall mean certain non-programmatic changes to the contract or modifications by altering, adding to or deleting from the work, and shall adjust the Contract sum accordingly, which do not exceed the value of \$300,000, and are designated as affecting the critical path by the Director’s Representative .

END OF DOCUMENT

SDD;sd

SECTION 012200

COST COMPUTATIONS

PART 1 GENERAL

1.01 DESCRIPTION

- A. The Contracting Officer shall determine the value of any order on contract or field order by one or more of the following methods:
1. Agreed to Amount:
 - a. By estimating the fair and reasonable cost of:
 - 1) Labor, including all wages, required wage supplements and insurance/taxes required by law (workers' compensation, social security, disability, unemployment, etc.) paid to or on behalf of working foremen, workers and other employees below the rank of the Contractor's designated representative directly employed at the Site of the Project, and, on contracts with an award price less than \$500,000, the Contractor's designated representative, regardless of job title or work status.
 - 2) Materials (to be installed or turned over to the State).
 - 3) Consumables are items that are used during the progression of the extra work that do not become a permanent part of the Work and as such are considered overhead.
 - 4) Equipment, excluding hand tools, which, in the judgment of the State, would have been or will be employed exclusively and directly on the omitted work or extra work, where the omitted or extra work is performed directly by the Contractor; by adding to the total of such estimated costs a sum equal to 15 percent thereof, but, where the omitted or extra work is performed by a subcontractor, by adding a sum equal to 15 percent of said costs for the benefit of such subcontractor, and by adding, for the benefit of the Contractor (no further allowance will be made where extra work is performed by any sub-subcontractor), an additional sum equal to:
 - a) 10 percent of the first \$10,000 of the above-estimated costs, including the subcontractor's percentage override.
 - b) Plus 5 percent of the next \$90,000 of the total of said items.
 - c) Plus 3 percent of any sum in excess of \$100,000 of the total of said items.For the purposes of the aforesaid percentage overrides, the words "extra work" shall be defined as a complete item of added, modified or changed work as described in writing to the Contractor and the reductions enumerated shall be applied individually to each Order on contract issued on a Contract. Such "extra work" may include the work of one or more trades and/or subcontractors or sub-subcontractors and shall include all labor, material, plant, equipment, tools and all incidentals directly and/or indirectly necessary, related, involved in or convenient to the successful completion of the extra work item.
 - b. By accepting an amount agreed upon by both parties, which amount is to be calculated in a manner similar to that provided in subparagraph 1.01 A. 1. a.

- c. Should the Contractor fail to submit the required proposal as required by Article 10.5.1, the Contractor shall be compensated as follows:
 - 1) The costs will be determined by the State as described in 1.01 A. 1. a. above, but the percentages for profit and overhead will be as follows:
 - a) Where the omitted or extra work is performed directly by the Contractor; by adding to the total of such estimated costs a sum equal to 10 percent thereof, but, where the omitted or extra work is performed by a subcontractor, by adding a sum equal to 10 percent of said costs for the benefit of such subcontractor, and by adding, for the benefit of the Contractor (no further allowance will be made where extra work is performed by any sub-subcontractor), an additional sum equal to:
 - (1) 5 percent of the first \$10,000 of the above-estimated costs, including the subcontractor's percentage override.
 - (2) Plus 3 percent of any sum in excess of \$10,000 of the total of said items.
 - d. Notice of Direction (NOD) Agreed to Amount - Change Orders that are \$300,000 or less, which are identified by the Director's Representative as non-programmatic, high risk and affecting the critical path of the project schedule, shall be issued upon OSC approval with an estimated amount provided by the Director's Representative and based on the Construction Manager's estimate. The final reconciled amount of the Change Order will be determined in the same manner as in the above Subparagraph 1.01 A. 1.a. and an amendment to the original Change Order will be issued after OSC approval to adjust the NOD amount.
 - 1) The Contractor shall be issued a Request for Proposal containing a written description of the changes with a value of extra or omitted cost based on the Construction Manager's estimate, followed by a Notice to Proceed, both forms to include a change request number. The Contractor shall proceed immediately with the execution of the changes to the Work while preparing a formal proposal as determined in the same manner as in the above Subparagraph 1.01 A. 1.a. Upon accepting an amount agreed upon by both parties an amendment to the NOD shall be issued as required to provide for any adjustments to the initial estimated value.
2. ACTUAL COSTS - By determining the actual cost of the extra work in the same manner as in the above Subparagraph 1.01 A. 1.a. except that actual costs of the Contractor be utilized in lieu of estimated costs. The State shall have the option to utilize this method provided it notifies the Contractor of its intent to do so prior to the time the Contractor is properly authorized to commence performance of such work.
 3. By applying the applicable price or prices set forth in the Contract Documents or by applying a unit price agreed to by both parties.
 4. All profit, overhead and expense of whatsoever kind and nature, other than those set forth above in items (1a) i through iii and below in Paragraph 1.01 F., of the Contractor, its subcontractors and sub-subcontractors, are covered by the aforesaid percentage overrides and no additional payment therefore will be made by the State.

B. Irrespective of the method used or to be used by the State in determining the value of extra or omitted work, the Contractor, after receipt of a request, shall within 15 days submit to the State a detailed breakdown of the Contractor's estimate of the value of the omitted or extra work. The Contractor shall submit evidence, satisfactory to the Contracting Officer, to substantiate each and

every item that constitutes his proposal for the change. The State shall promptly respond to such submission.

- C. Whenever this Contract requires the determination of labor hours, it shall be determined as follows:
1. Labor Hours shall be based on the labor factors as published in "RSMeans" by Reed Construction Data. The latest versions of the following books shall be used:
 - a. Building Construction Cost Data
 - b. Electrical Cost Data
 - c. Mechanical Cost Data
 - d. Plumbing Cost Data
 - e. Site Work and Landscape Cost Data
 2. In the event that a labor factor for an item of work is not available from these publications the Director shall establish a labor factor as to the amount of time it takes to perform an item of Work.
 - a. Conditions that affect the performance of the extra work whether addressed in the Contract Documents or not shall be taken into consideration and negotiated.
 - b. Unforeseen conditions or conditions that are not identifiable shall not be included in the Contractor's proposal. If while in the process of performing the omitted or extra work a condition or event that affects the work becomes evident, it will be addressed at that time via a field order or change order.
- D. Materials:
1. Materials used in performance of the extra work shall conform to Contract Documents and shall be listed by description, quantity and standard unit of measure.
 2. Where the extended value of an item of material is TEN THOUSAND DOLLARS OR MORE a quote or invoice from a supplier shall be included as part of the Contractor's proposal. The Director's Representative reserves the right to request substantiating pricing documentation to verify actual and reasonableness of any and all submitted costs. This requirement does not impede Subparagraph 1.01 B. above.
 3. Travel costs including mileage, tolls, and overnight lodging and meal per diems incurred as a result of the extra work will be reimbursed at costs without any markup for the Contractor or subcontractor as the case may be. Daily travel to the project site must exceed 35 miles, one way, from the Contractor's office address to claim mileage and toll expenses; only mileage beyond 35 miles will be reimbursed. Distance must exceed 50 miles, one way, from Contractor's office address to the project site to claim overnight lodging and meal per diems. Actual cost for overnight lodging and meal per diems will be reimbursed up to the maximum rates listed per locality, as established by U.S. General Services Administration (GSA).
 4. Personal Protection equipment required for hazardous materials abatement and materials used to create critical barriers and protection barriers, provided that they are expended during the performance of the extra work or turned over to the State at the request of the Director's Representative, are reimbursable as part of an order on contract.
- E. Whenever this Contract requires the determination of the cost of equipment, it shall be determined as follows:
1. Equipment used or to be used in the performance of Work shall be specifically described by the manufacturer, model number and date of manufacture and be of suitable size and capacity required for the work to be performed.
 2. Equipment, excluding hand tools which are defined as tools and equipment having a new purchase price of less than ONE THOUSAND DOLLARS, and which will be used

exclusively and directly on the Work. For the purposes of computing the Contractor's cost for self-owned equipment, the rate used for periods of under five days shall be the monthly rate set forth for the item of equipment in the Equipment Watch® "Rental Rate Blue Book" published by Penton Media (800 669-3282) divided by 22 days to establish a daily rate and divided again by eight hours to establish an hourly rate. The rate used for periods of 5 days or more shall be 45% of the published monthly rate. In the event the "Rental Rate Blue Book" does not list the item of equipment used, the applicable rate shall be determined in the same manner as set forth above except that the monthly rate used shall be that set forth in "The AED Green Book" published by Penton Media (800 669-3282). In the event that a rate is not established in the "Rental Rate Blue Book" or "The AED Green Book" for a particular piece of equipment, the Contracting Officer shall establish a rate for ownership costs and operating costs for that piece of equipment that is consistent with its cost and expected life. Self-owned equipment is defined to include equipment rented from controlled or affiliated companies.

3. Rented equipment will be paid for at the actual rental cost. Equipment rented for the Work used in the performance of extra work will be reimbursed for operating costs only.
4. For the purposes of the performance of extra or additional work, when, in the opinion of the Contractor, and as approved in writing by the Director's Representative, suitable equipment is not available on the Site, the moving of said equipment to and from the Site will be paid for at actual cost.
5. Notwithstanding any other provision, if the State should determine that the nature or size of the equipment used by the Contractor in connection with the performance of Work is larger or more elaborate, as the case may be, than the size or nature of the minimum equipment determined by the State to be suitable for the performance of Work, the cost of equipment used in calculating the costs of extra work or delay damages will not be based upon the equipment used by the Contractor but instead will be based on the smallest or least elaborate equipment determined by the State to have been suitable for the performance of the Work. In no event shall the amount paid to the Contractor as the allowance for the use of self-owned construction equipment exceed the lower of the actual cost of such equipment or the depreciated value of such equipment as carried on the Contractor or subcontractors books.
6. The Contractor shall be reimbursed for its operating costs for self-owned equipment based on actual cost data. Operating costs shall include fuel, lubricants, other operating expendables and preventive and field maintenance. Operating costs do not include the operator's wages. In the event, after documented and demonstrated due diligence, actual operating costs are not ascertainable, then the Contractor will be compensated utilizing 100 percent of the operating costs set forth in the "Rental Rate Blue Book" and the Contractor shall be reimbursed the product of the number of hours of actual use multiplied by the operating cost per hour.
7. The maximum amount of reimbursement for the ownership costs of self-owned equipment is limited to the original purchase price of the equipment as listed in the "Green Guide for Construction Equipment" published by Penton Media (800) 669-3282. In the specific event when the ownership reimbursement is limited by the original purchase price, the Contractor shall, nevertheless, be reimbursed for the operating cost per hour for each hour of actual use.

F. Insurance and Bonds:

1. The additional cost of all required Bonds and Liability and Builder's Risk Insurance Premium required by this Contract, arising from the additional cost of performing extra work shall be paid by a change order or field order to be issued upon physical completion

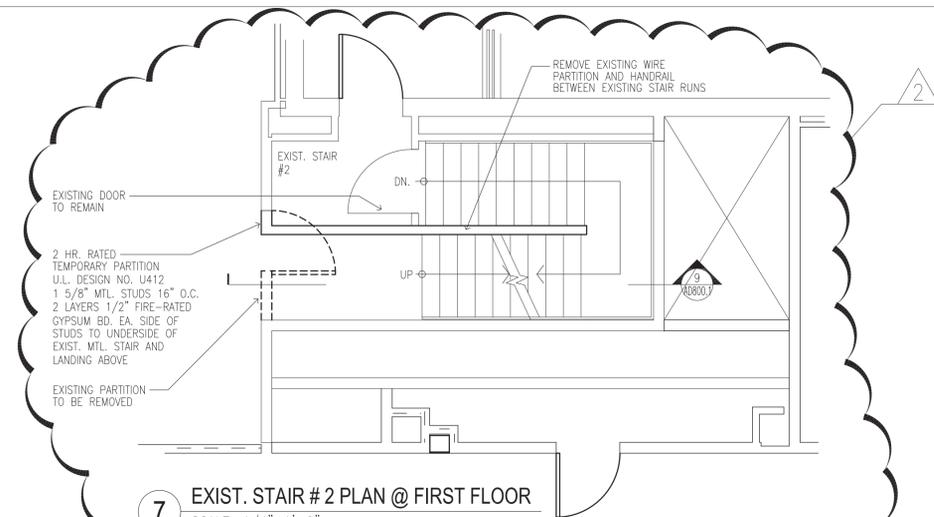
- of the Work and upon the submission of proof of payment of such additional premiums assessed by the respective insurance companies for such additional cost of the extra work.
2. Should the additional work require an additional insurance policy not initially required or anticipated in the execution of the contract, whether required of the Contractor or a subcontract between the Contractor and a subcontractor actually performing extra work, will be reimbursed based on actual cost.
- G. Unless otherwise specifically provided for in an order on contract or field order, the compensation specified therein for extra work includes full payment for both the extra work covered thereby and for any damage or expense caused the Contractor by any delays to other work to be done under the Contract resulting from or on account of said extra work, and the Contractor waives all rights to any other compensation for said extra work, damage or expense.
- H. In computing the value of an order on contract or field order which involves additions and deletions of work and the cost of the added work exceeds the cost of the deleted work, overhead and profit shall be computed on the amount by which the actual cost of additional labor and material exceeds the actual cost of the deleted labor and material, except no additional overhead and profit shall be allowed on the value of any order on contract or field order determined by the method provided in Subparagraphs 1.01 A. 1.b. or 1.01 A. 3.
- I. In computing the value of an order on contract or field order which involves additions and deletions of work and the cost of the deleted work exceeds the cost of the added work, the Contractor will be allowed to retain the overhead and profit on the amount by which the cost of the deleted work exceeds the cost of the added work, except that no overhead and profit shall be retained on the cost of work determined by the method provided in Subparagraphs 1.01 A. 1.b. or 1.01 A. 3.
- J. Subject to the provisions of Article 17A of the General Conditions, the following elements of damage, and only the following elements, as determined by the Contracting Officer, will be recoverable by the Contractor as “delay damages” provided that they are actual, reasonable and necessary:
1. Documented additional or escalated job site labor expenses.
 2. Documented additional or escalated costs for materials.
 3. Documented additional or escalated equipment costs less appropriate credits, as such are determined in accordance with this Section.
 4. Documented costs of extended job-site overhead (including job superintendent, office engineer and clerical staff, but not including working foremen).
 5. An additional 15 percent of the total of the above items in Subparagraphs 1.01 J. 1., 2., 3. and 4. for home office overhead and profit thereon.
 6. Documented additional or escalated insurance and bond costs.
 7. When the work is performed by a subcontractor, the Contractor shall be paid the actual, reasonable and necessary cost of such subcontracted work as outlined Subparagraphs 1.01 J. 1. through 4., including the subcontractor’s main office overhead and profit of 15 percent. The Contractor shall also be allowed an additional 5 percent administrative fee for processing.
 8. The phrases “additional expenses”, “escalated expenses”, “additional costs” and “escalated costs” shall include expenses and costs above or below those normally incurred in the performance of the work, less any appropriate credit, and/or attributable, with appropriate credits, to the performance of work or portions of work in a different time period than that which was indicated on the approved progress schedule.

- K. The parties agree that, with regard to delay damages, the State will have no liability for the following items and the Contractor further agrees it shall make no claim for the following items:
1. Profit, in excess of that provided for above.
 2. Loss of anticipated or unanticipated profit.
 3. Labor inefficiencies and loss of productivity.
 4. Home office overhead in excess of that provided for above.
 5. Consequential damages, including but not limited to interest on monies in dispute, including interest which is paid on such monies, loss of bonding capacity, bidding opportunities, or interest on retainage or investment, or any resultant insolvency.
 6. Indirect costs or expenses of any nature.
 7. Direct or indirect costs attributable to performance of work where the Contractor, because of situations or conditions within its control, has not progressed in a manner satisfactory to the Executive Director.
 8. Attorneys' fees, or claims preparation expenses.
- L Remedies Exclusive: With respect to extra costs and delay damages, the parties agree that the State shall have no liability to the Contractor for expenses, costs, or items of damage other than those which are specifically identified as payable above. In the event any legal action is instituted against the State by the Contractor on account of any extra work or for additional compensation, whether on account of delay, acceleration, breach of contract, or otherwise, the Contractor agrees that the State's liability will be limited to those items which are specifically identified as compensable above. The Contractor further agrees to make no claim for expenses other than those which are specifically identified as compensable above.

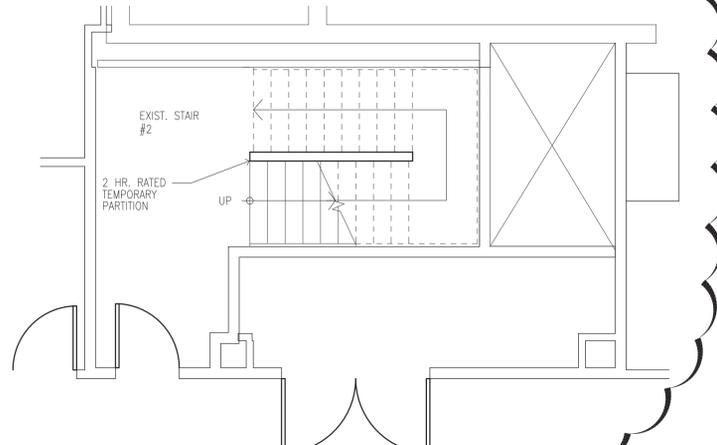
PART 2 PRODUCTS (Not Used)

PART 3 EXECUTION (Not Used)

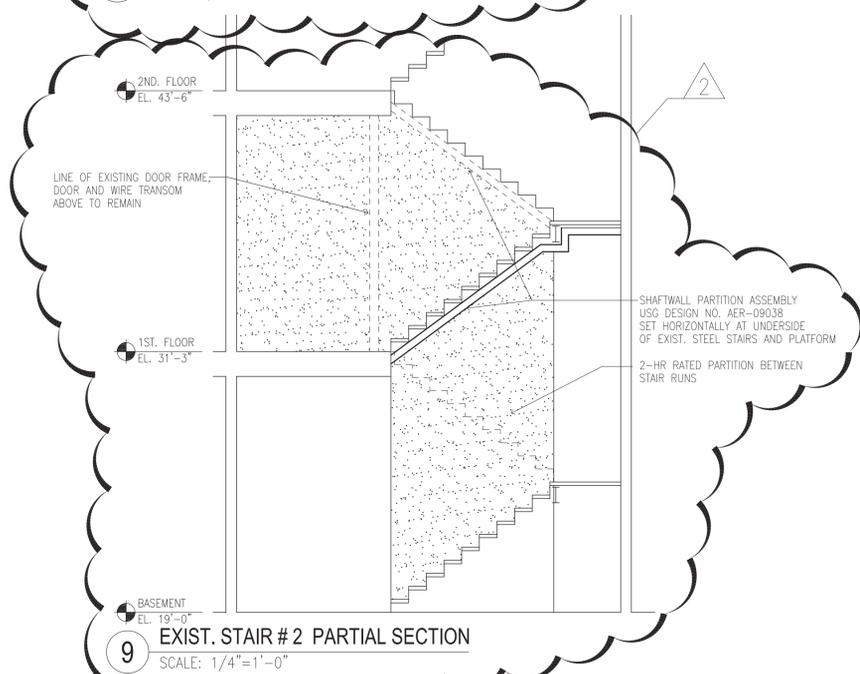
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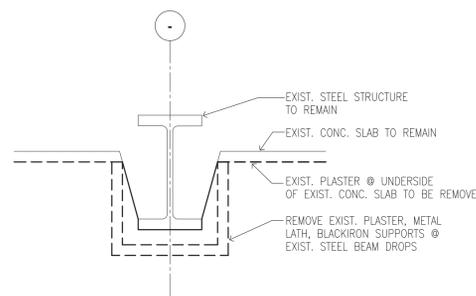
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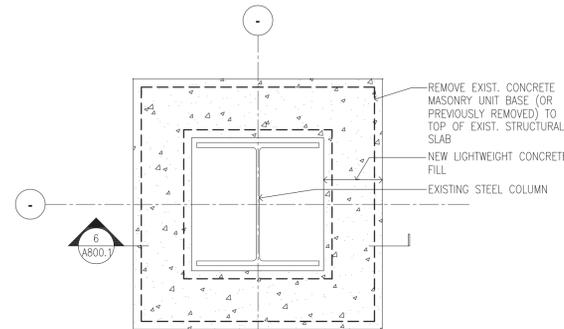
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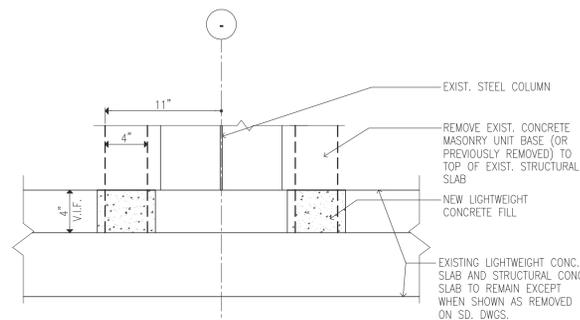
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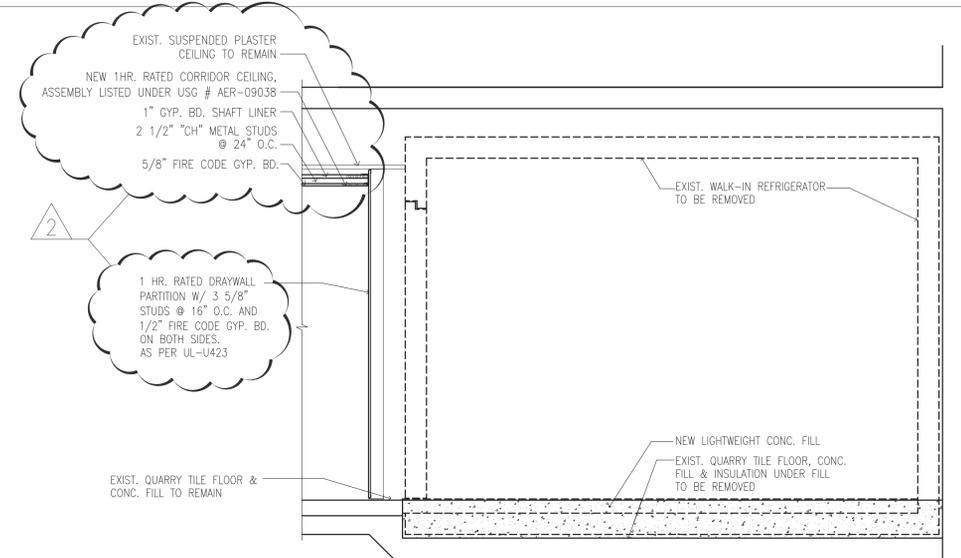
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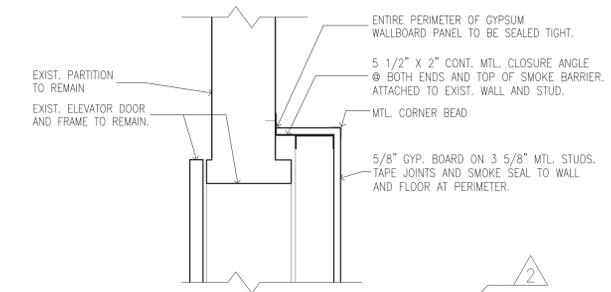
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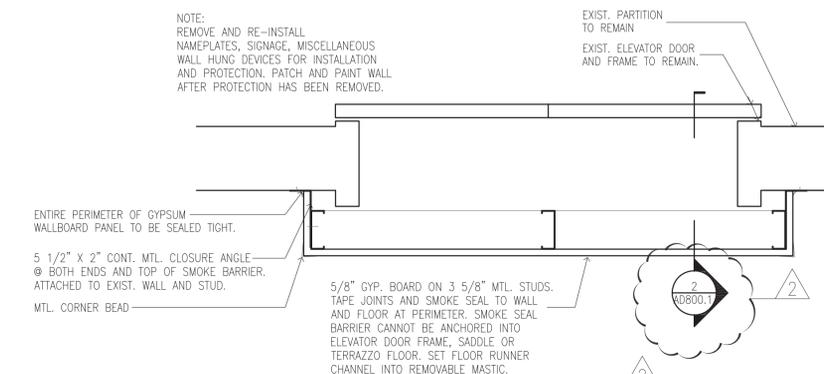
6 DEMOLITION DETAIL AT COLUMN
SCALE: 1 1/2"=1'-0"



3 SECTION THRU EXIST. WALK-IN REFRIGERATORS
SCALE: 1/2"=1'-0"



2 ELEVATOR DOOR PROTECTION HEAD DETAIL - SMOKE TIGHT
SCALE: 1 1/2"=1'-0"



1 TEMPORARY ELEVATOR DOOR PROTECTION - SMOKE TIGHT
SCALE: 1 1/2"=1'-0"



CONSULTANTS:
RBSD | **STV** 100 Years
ARCHITECTS
A Joint Venture
225 Park Avenue South
New York, New York 10003

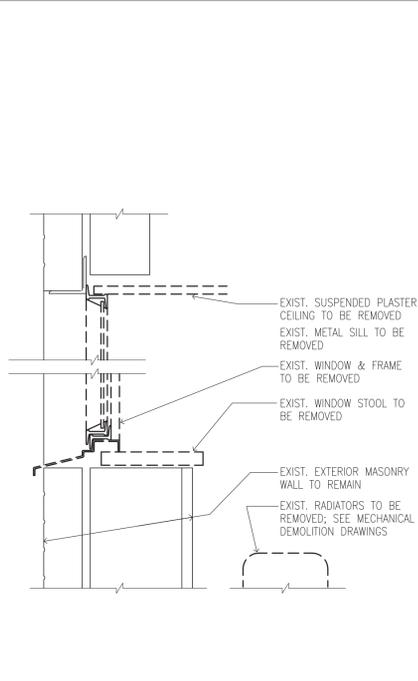
WARNING:
THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.



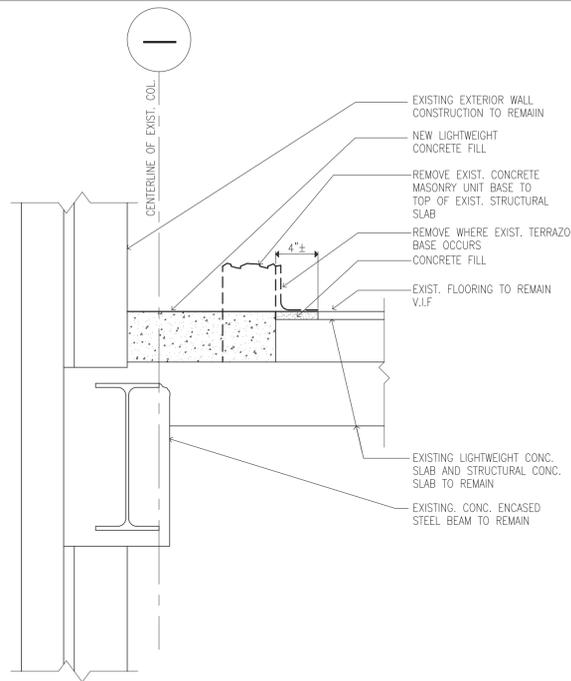
CONTRACT:
CONSTRUCTION
TITLE:
PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION:
BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	PROJECT NUMBER:	44579
	06/30/2014	ADDENDUM # 2	DESIGNED BY:	MAK / WW
	5-28-2014	BID DOCUMENT	DRAWN BY:	JS
			FIELD CHECK:	LR / MA / DS / JM
			APPROVED:	WS / MAK / LF

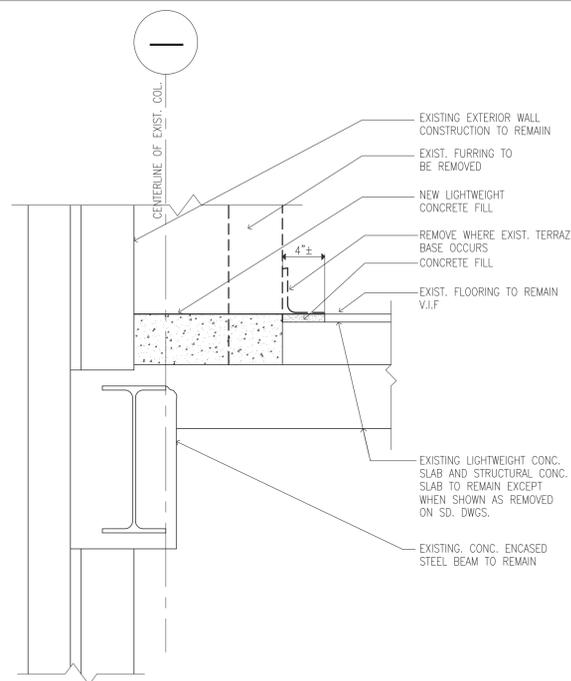
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BUILDING NUMBER:
102
DRAWING NUMBER:
AD-800.1
SHEET 81 of 179



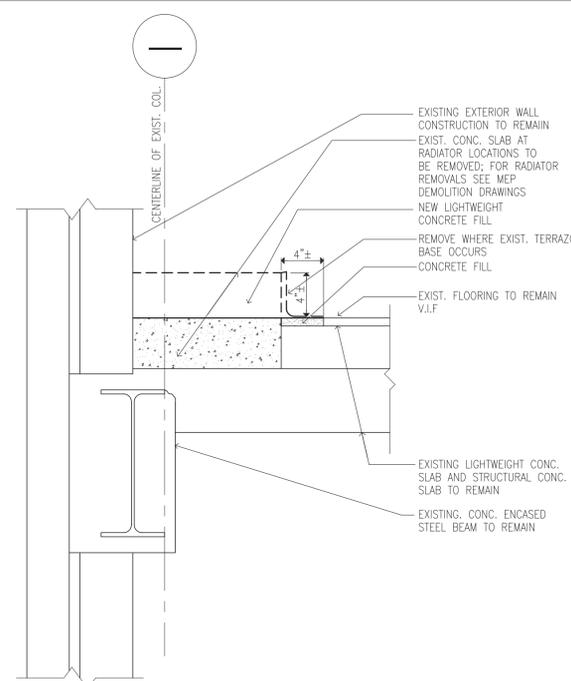
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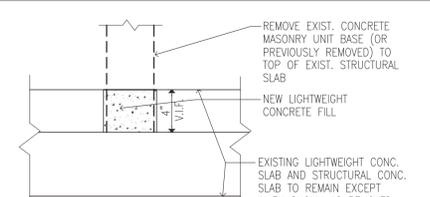
2 DEMOLITION DETAIL TYPICAL @ EXTERIOR WALL
SCALE: 1 1/2"=1'-0"



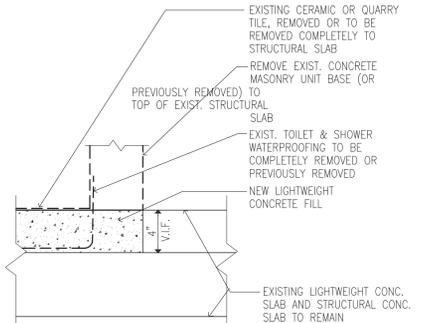
3 DEMOLITION DETAIL TYPICAL @ EXTERIOR WALL
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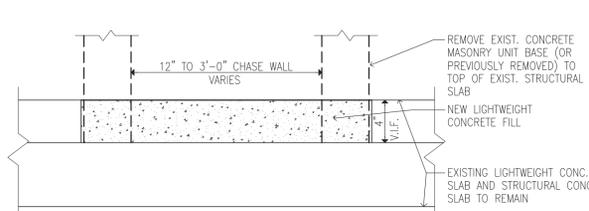
4 DEMOLITION DETAIL TYPICAL @ WINDOW
SCALE: 1 1/2"=1'-0"



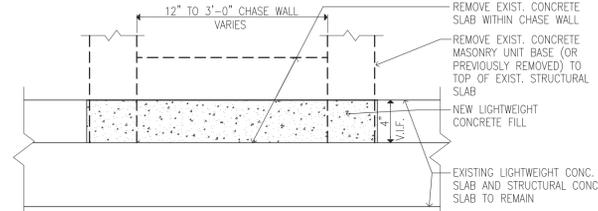
5 TYPICAL PARTITION REMOVAL DETAIL
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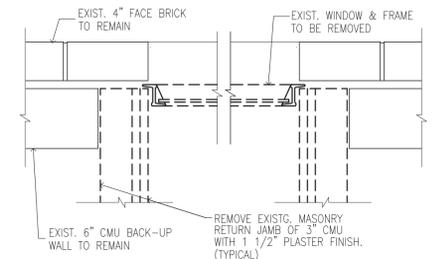
6 TYPICAL PARTITION REMOVAL DETAIL @ TOILET
SCALE: 1 1/2"=1'-0"



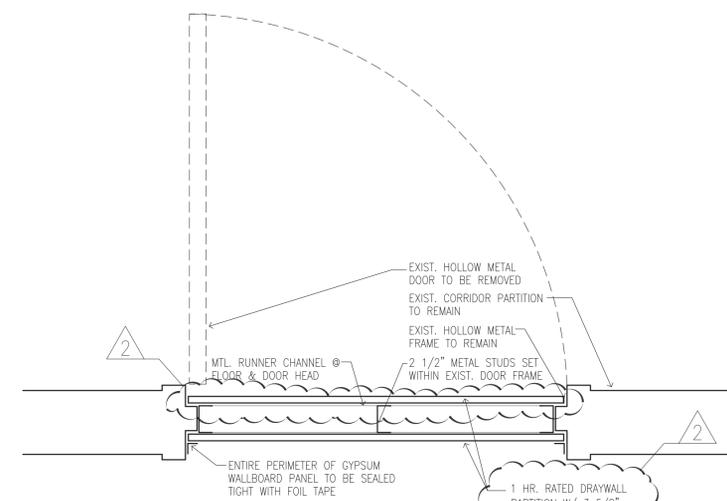
12 DEMOLITION DETAIL
SCALE: 1 1/2"=1'-0"
NOTE: APPLICABLE BUT NOT LIMITED TO, PLUMBING AND PIPING CHASES



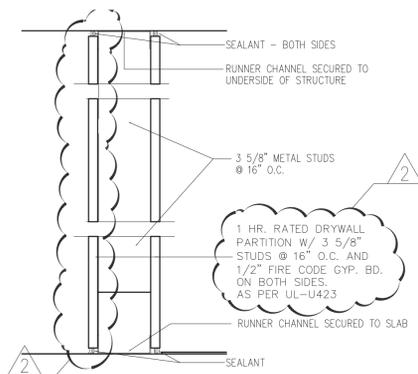
13 DEMOLITION DETAIL
SCALE: 1 1/2"=1'-0"
NOTE: APPLICABLE BUT NOT LIMITED TO, ELECTRICAL CLOSETS AND ELECTRICAL RISER CHASES.



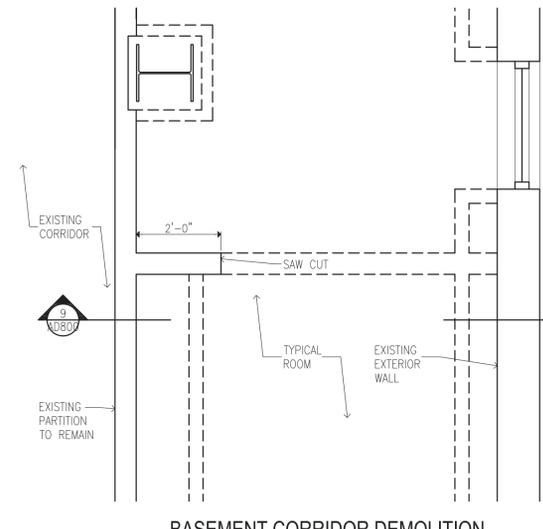
7 WINDOW DEMOLITION DETAIL
SCALE: 1 1/2"=1'-0"



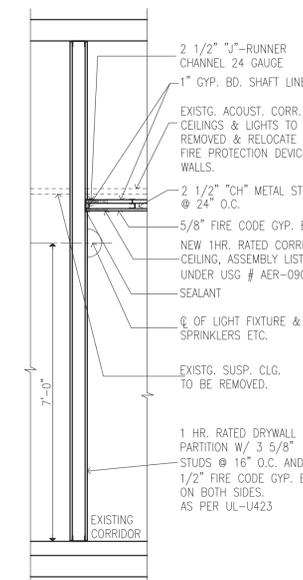
10 TYPICAL TEMPORARY CORRIDOR DOOR PROTECTION
SCALE: 1 1/2"=1'-0"



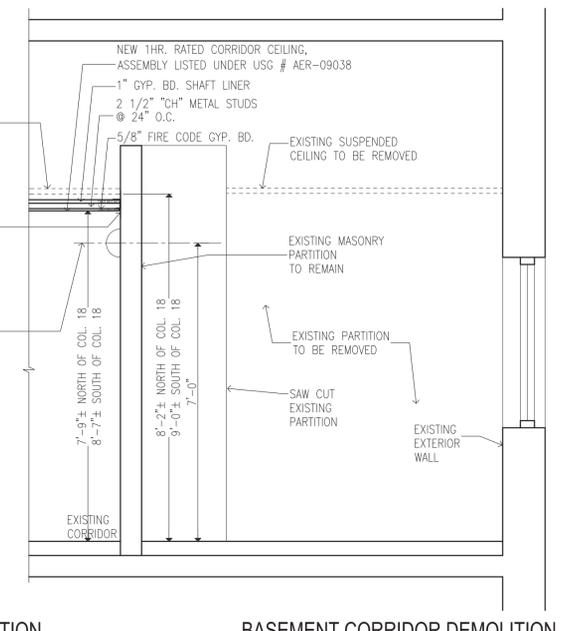
11 TYPICAL TEMPORARY PARTITION DETAIL
SCALE: 1 1/2"=1'-0"



8 BASEMENT CORRIDOR DEMOLITION PLAN DETAIL
SCALE: 1/2"=1'-0"



9A BASEMENT CORRIDOR DEMOLITION SECTION DETAIL
SCALE: 1/2"=1'-0"



9 BASEMENT CORRIDOR DEMOLITION SECTION DETAIL
SCALE: 1/2"=1'-0"



CONSULTANTS:
RBSD | **STV** 100 Years
ARCHITECTS
A Joint Venture
225 Park Avenue South
New York, New York 10003

ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

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CONTRACT:
CONSTRUCTION
TITLE:
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION:
BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET
WARDS ISLAND, NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION
△	06/30/2014	ADDENDUM # 2
	5-28-2014	BID DOCUMENT

PROJECT NUMBER: 44579
DESIGNED BY: MAK / WW
DRAWN BY: JS
FIELD CHECK: LR / MA / DS / JM
APPROVED: WS / MAK / LF

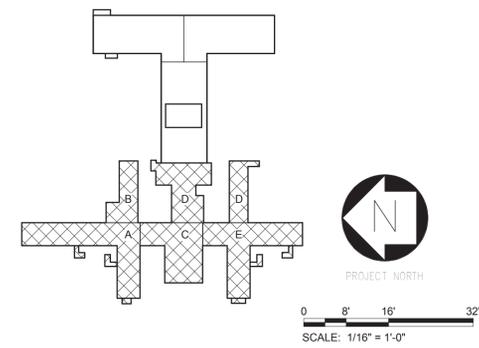
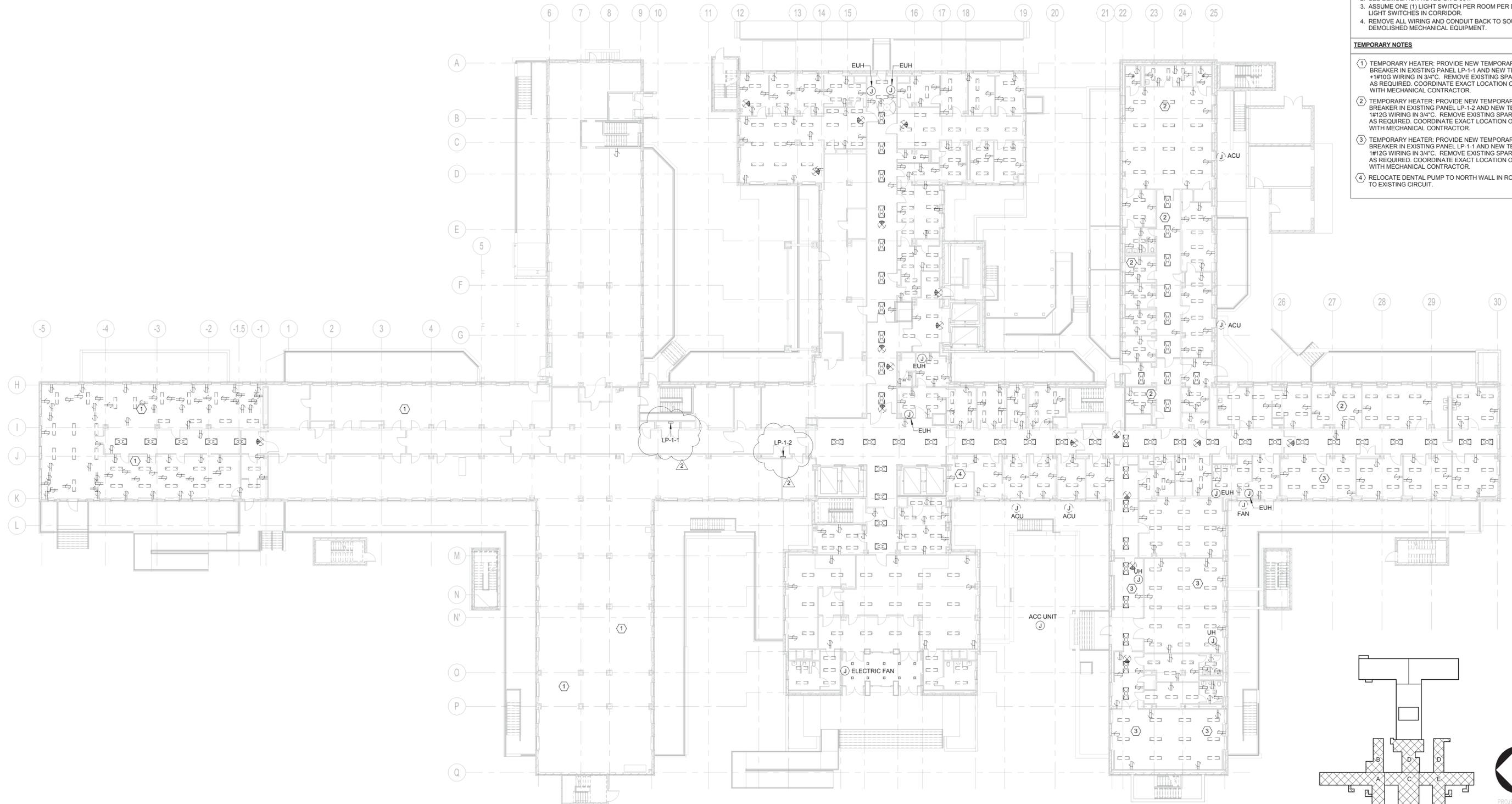
SHEET TITLE:
DEMOLITION DETAILS
BUILDING NUMBER: 102
DRAWING NUMBER: AD-800
SHEET 80 of 179

DEMOLITION NOTES

1. REMOVE ALL:
 - a. LIGHT FIXTURES AND ASSOCIATED SWITCHES
 - b. EXIT SIGNS
 - c. RECEPTACLES
 - d. TEL/DATA DEVICES
 - e. FANS
 - f. CONTROL DEVICES
2. SEE DEMOLITION NOTES ON E-001.
3. ASSUME ONE (1) LIGHT SWITCH PER ROOM PER DOOR. ASSUME 10 LIGHT SWITCHES IN CORRIDOR.
4. REMOVE ALL WIRING AND CONDUIT BACK TO SOURCE FOR DEMOLISHED MECHANICAL EQUIPMENT.

TEMPORARY NOTES

- ① TEMPORARY HEATER: PROVIDE NEW TEMPORARY 25A, 3 POLE CIRCUIT BREAKER IN EXISTING PANEL LP-1-1 AND NEW TEMPORARY 3#10 + #14G WIRING IN 3/4" C. REMOVE EXISTING SPARE CIRCUIT BREAKERS AS REQUIRED. COORDINATE EXACT LOCATION OF TEMPORARY HEATER WITH MECHANICAL CONTRACTOR.
- ② TEMPORARY HEATER: PROVIDE NEW TEMPORARY 20A, 3 POLE CIRCUIT BREAKER IN EXISTING PANEL LP-1-2 AND NEW TEMPORARY 3#12 + #14G WIRING IN 3/4" C. REMOVE EXISTING SPARE CIRCUIT BREAKERS AS REQUIRED. COORDINATE EXACT LOCATION OF TEMPORARY HEATER WITH MECHANICAL CONTRACTOR.
- ③ TEMPORARY HEATER: PROVIDE NEW TEMPORARY 20A, 3 POLE CIRCUIT BREAKER IN EXISTING PANEL LP-1-1 AND NEW TEMPORARY 3#12 + #14G WIRING IN 3/4" C. REMOVE EXISTING SPARE CIRCUIT BREAKERS AS REQUIRED. COORDINATE EXACT LOCATION OF TEMPORARY HEATER WITH MECHANICAL CONTRACTOR.
- ④ RELOCATE DENTAL PUMP TO NORTH WALL IN ROOM AND RECONNECT TO EXISTING CIRCUIT.



1 FIRST FLOOR DEMOLITION PLAN

ANDREW M. CUOMO
Governor
ROANN M. DESTITTO
Commissioner

CONSULTANTS:

RBSD | **STV** 100 Years
ARCHITECTS, P.C.

A Joint Venture
225 Park Avenue South
New York, New York 10003

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CONTRACT: CONSTRUCTION

TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS

LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT: NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	PROJECT NUMBER:	44579
△	6-30-2014	ADDENDUM #2	DESIGNED BY:	JN
	5-28-2014	BID DOCUMENT	DRAWN BY:	SA
			FIELD CHECK:	FT/JM
			APPROVED:	FT

SHEET TITLE:
**ELECTRICAL FIRST FLOOR
DEMOLITION & TEMPORARY
WORK PLAN**

BUILDING NUMBER: **102**

DRAWING NUMBER: **ED-101-2**

SHEET

7/2/2014 3:10:04 PM

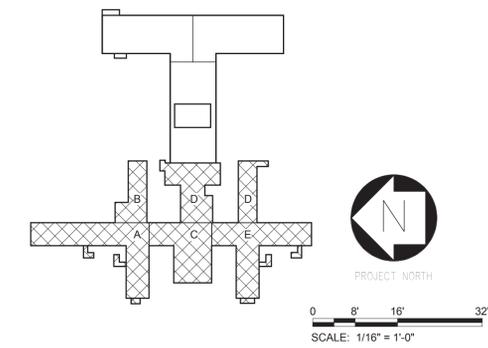
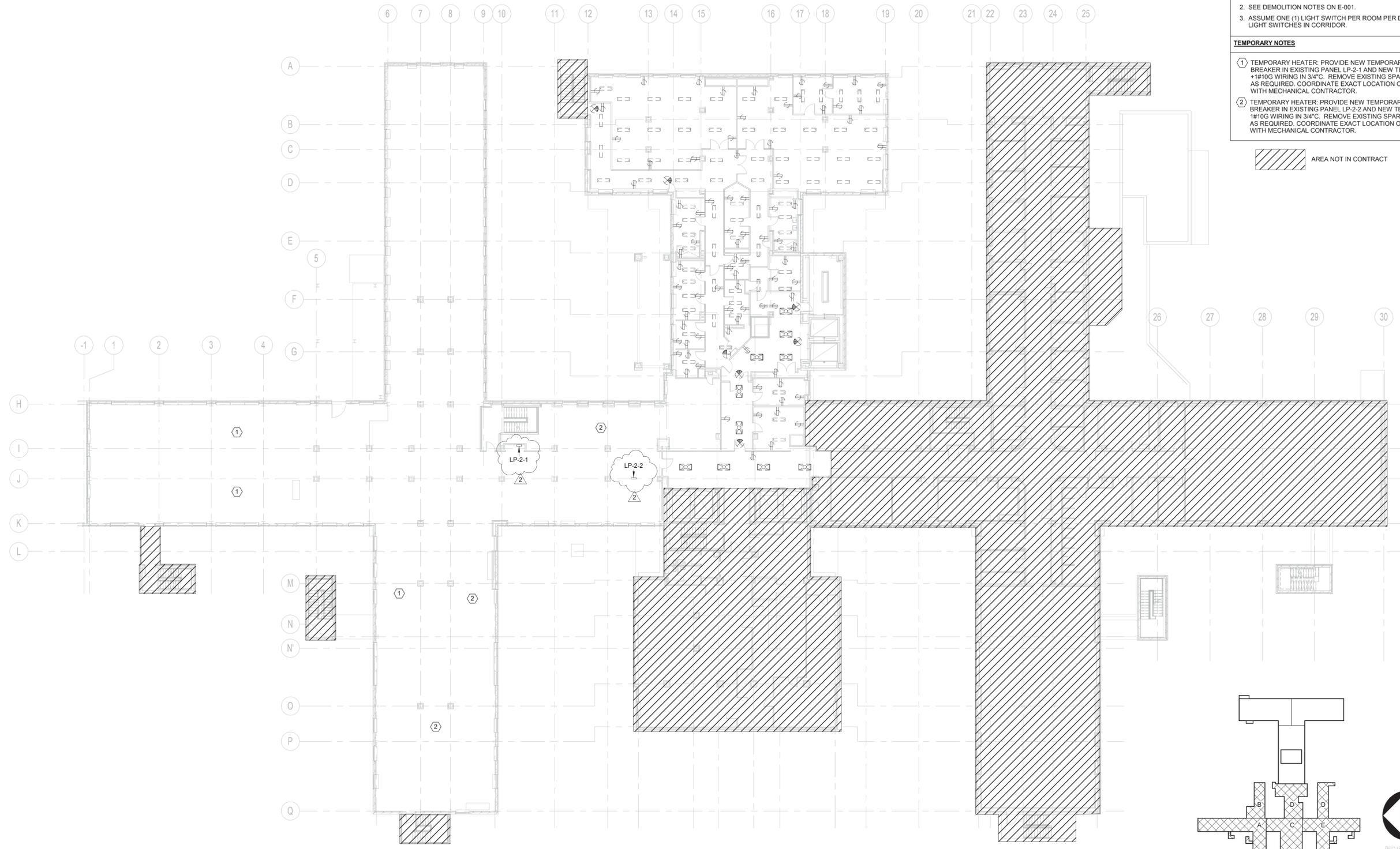
DEMOLITION NOTES

1. REMOVE ALL:
 - a. LIGHT FIXTURES AND ASSOCIATED SWITCHES
 - b. EXIT SIGNS
 - c. RECEPTACLES
 - d. TEL/DATA DEVICES
 - e. FANS
 - f. CONTROL DEVICES
2. SEE DEMOLITION NOTES ON E-001.
3. ASSUME ONE (1) LIGHT SWITCH PER ROOM PER DOOR. ASSUME 10 LIGHT SWITCHES IN CORRIDOR.

TEMPORARY NOTES

- ① TEMPORARY HEATER: PROVIDE NEW TEMPORARY 25A, 3 POLE CIRCUIT BREAKER IN EXISTING PANEL LP-2-1 AND NEW TEMPORARY 3#10 +1#10G WIRING IN 3/4" C. REMOVE EXISTING SPARE CIRCUIT BREAKERS AS REQUIRED. COORDINATE EXACT LOCATION OF TEMPORARY HEATER WITH MECHANICAL CONTRACTOR.
- ② TEMPORARY HEATER: PROVIDE NEW TEMPORARY 25A, 3 POLE CIRCUIT BREAKER IN EXISTING PANEL LP-2-2 AND NEW TEMPORARY 3#10 +1#10G WIRING IN 3/4" C. REMOVE EXISTING SPARE CIRCUIT BREAKERS AS REQUIRED. COORDINATE EXACT LOCATION OF TEMPORARY HEATER WITH MECHANICAL CONTRACTOR.

 AREA NOT IN CONTRACT



1 SECOND FLOOR DEMOLITION PLAN

OGS
NYS OFFICE OF GENERAL SERVICES
Serving New York

CONSULTANTS:
RBSD | **STV** *100 Years*
ARCHITECTS, P.C.
A Joint Venture
225 Park Avenue South
New York, New York 10003

ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

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CONTRACT:
CONSTRUCTION
TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION: BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY 10035
CLIENT: NYS OFFICE OF MENTAL HEALTH

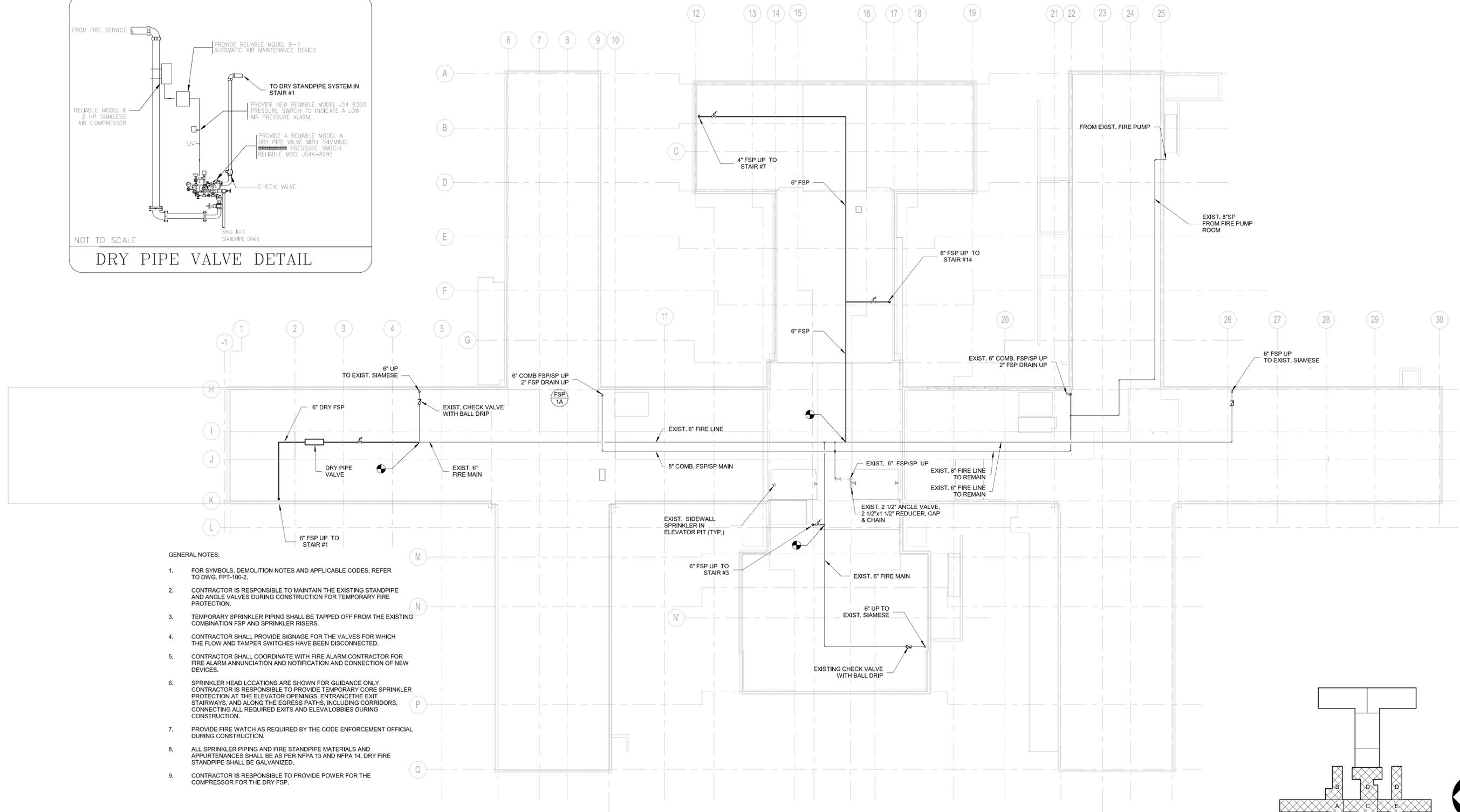
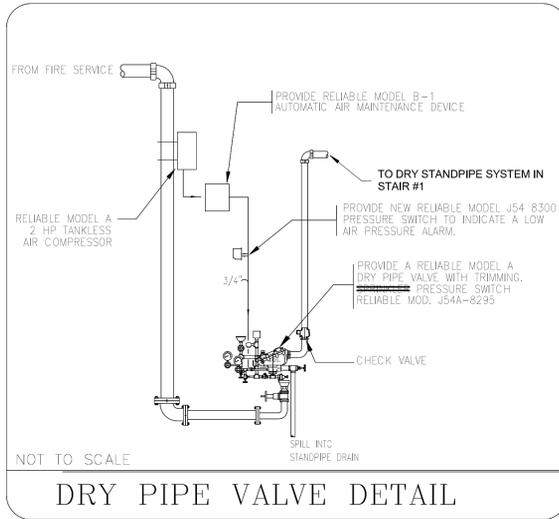
MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM #2	JN
	5-28-2014	BID DOCUMENT	SA
		FIELD CHECK	FT/JM
			FT

SHEET TITLE:
ELECTRICAL SECOND FLOOR DEMOLITION & TEMPORARY WORK PLAN

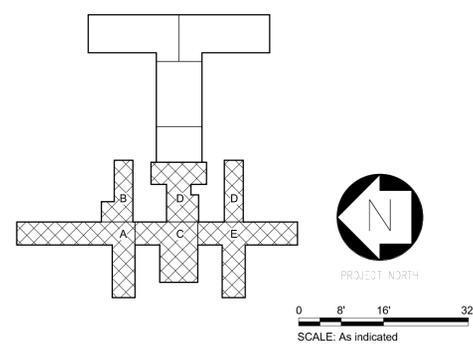
BUILDING NUMBER: **102**
DRAWING NUMBER: **ED-102-2**

SHEET

7/2/2014 3:10:06 PM



- GENERAL NOTES:
- FOR SYMBOLS, DEMOLITION NOTES AND APPLICABLE CODES, REFER TO DWG. FPT-100-2.
 - CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
 - TEMPORARY SPRINKLER PIPING SHALL BE TAPPED OFF FROM THE EXISTING COMBINATION FSP AND SPRINKLER RISERS.
 - CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN DISCONNECTED.
 - CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION AND CONNECTION OF NEW DEVICES.
 - SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION.
 - PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
 - ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFPA 13 AND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE POWER FOR THE COMPRESSOR FOR THE DRY FSP.



1 FIRE PROTECTION TEMPORARY SPRINKLER SUB-BASEMENT PLAN

ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:

A Joint Venture
225 Park Avenue South
New York, New York 10003

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CONTRACT:
CONSTRUCTION

TITLE:
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS

LOCATION:
BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM 2	SM
	5-28-2014	BID DOCUMENT	TW
			BG

PROJECT NUMBER: 44579
DESIGNED BY: SM
DRAWN BY: SM
FIELD CHECK: TW
APPROVED: BG

SHEET TITLE:
FIRE PROTECTION
TEMPORARY SPRINKLER
SUB-BASEMENT PLAN

BUILDING NUMBER: 102
DRAWING NUMBER: FPT-099-2

SHEET 180 of 186

7/2/2014 1:35:40 PM

APPLICABLE CODES:

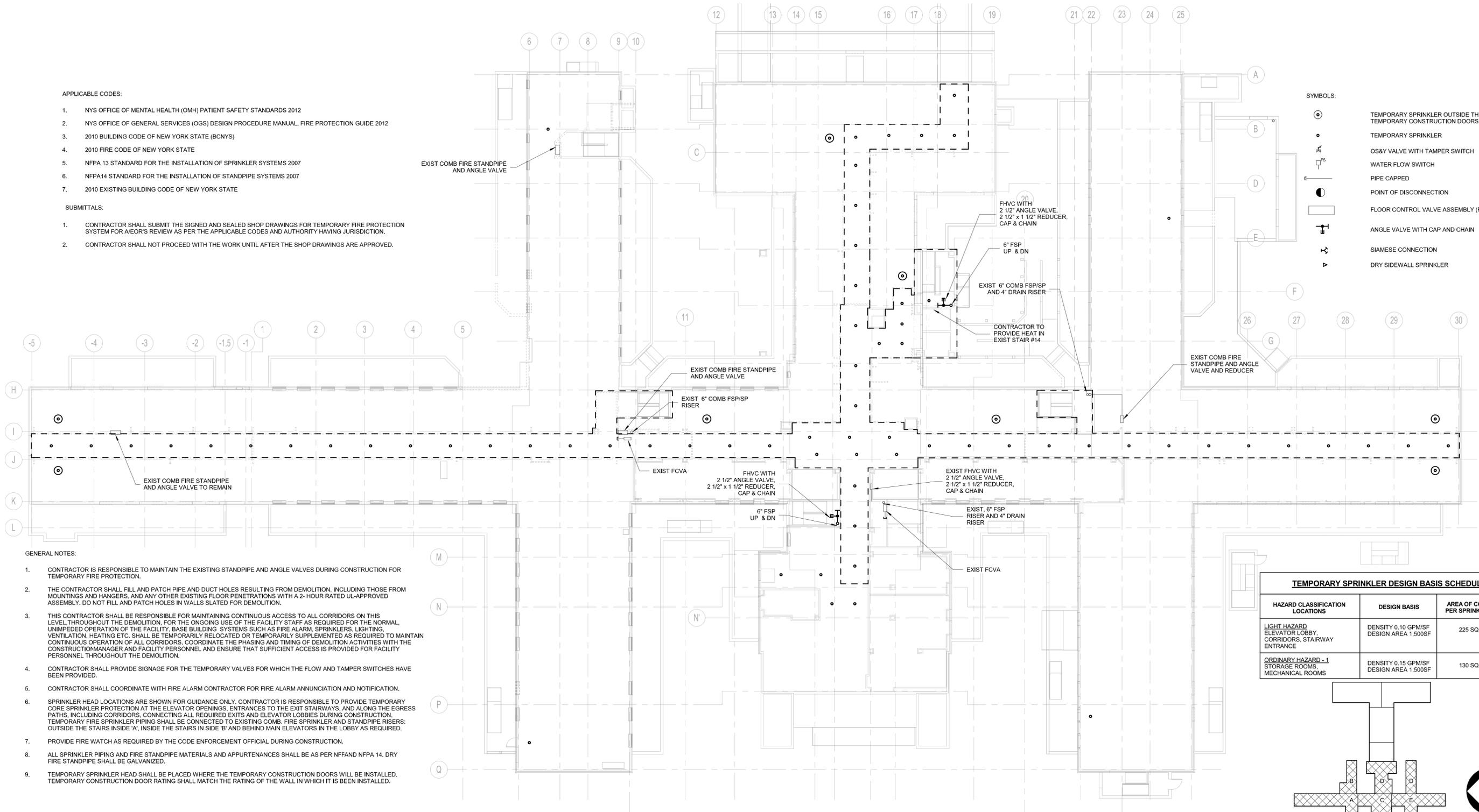
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2. NYS OFFICE OF GENERAL SERVICES (OGS) DESIGN PROCEDURE MANUAL, FIRE PROTECTION GUIDE 2012
3. 2010 BUILDING CODE OF NEW YORK STATE (BCNYS)
4. 2010 FIRE CODE OF NEW YORK STATE
5. NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS 2007
6. NFPA14 STANDARD FOR THE INSTALLATION OF STANDPIPE SYSTEMS 2007
7. 2010 EXISTING BUILDING CODE OF NEW YORK STATE

SUBMITTALS:

1. CONTRACTOR SHALL SUBMIT THE SIGNED AND SEALED SHOP DRAWINGS FOR TEMPORARY FIRE PROTECTION SYSTEM FOR AEO'S REVIEW AS PER THE APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION.
2. CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AFTER THE SHOP DRAWINGS ARE APPROVED.

SYMBOLS:

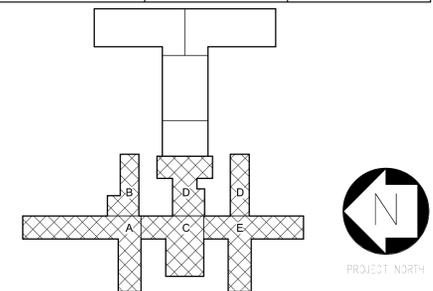
- TEMPORARY SPRINKLER OUTSIDE THE TEMPORARY CONSTRUCTION DOORS
- TEMPORARY SPRINKLER
- OS&Y VALVE WITH TAMPER SWITCH
- WATER FLOW SWITCH
- PIPE CAPPED
- POINT OF DISCONNECTION
- FLOOR CONTROL VALVE ASSEMBLY (FCVA)
- ANGLE VALVE WITH CAP AND CHAIN
- SIAMESE CONNECTION
- DRY SIDEWALL SPRINKLER



GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
2. THE CONTRACTOR SHALL FILL AND PATCH PIPE AND DUCT HOLES RESULTING FROM DEMOLITION, INCLUDING THOSE FROM MOUNTINGS AND HANGERS, AND ANY OTHER EXISTING FLOOR PENETRATIONS WITH A 2- HOUR RATED UL-APPROVED ASSEMBLY. DO NOT FILL AND PATCH HOLES IN WALLS SLATED FOR DEMOLITION.
3. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUOUS ACCESS TO ALL CORRIDORS ON THIS LEVEL THROUGHOUT THE DEMOLITION, FOR THE ONGOING USE OF THE FACILITY STAFF AS REQUIRED FOR THE NORMAL, UNIMPEDDED OPERATION OF THE FACILITY, BASE BUILDING SYSTEMS SUCH AS FIRE ALARM, SPRINKLERS, LIGHTING, VENTILATION, HEATING ETC. SHALL BE TEMPORARILY RELOCATED OR TEMPORARILY SUPPLEMENTED AS REQUIRED TO MAINTAIN CONTINUOUS OPERATION OF ALL CORRIDORS, COORDINATE THE PHASING AND TIMING OF DEMOLITION ACTIVITIES WITH THE CONSTRUCTIONMANAGER AND FACILITY PERSONNEL AND ENSURE THAT SUFFICIENT ACCESS IS PROVIDED FOR FACILITY PERSONNEL THROUGHOUT THE DEMOLITION.
4. CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE TEMPORARY VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN PROVIDED.
5. CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION.
6. SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION. TEMPORARY FIRE SPRINKLER PIPING SHALL BE CONNECTED TO EXISTING COMB. FIRE SPRINKLER AND STANDPIPE RISERS: OUTSIDE THE STAIRS INSIDE 'A', INSIDE THE STAIRS IN SIDE 'B' AND BEHIND MAIN ELEVATORS IN THE LOBBY AS REQUIRED.
7. PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
8. ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFFAND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.
9. TEMPORARY SPRINKLER HEAD SHALL BE PLACED WHERE THE TEMPORARY CONSTRUCTION DOORS WILL BE INSTALLED. TEMPORARY CONSTRUCTION DOOR RATING SHALL MATCH THE RATING OF THE WALL IN WHICH IT IS BEEN INSTALLED.

TEMPORARY SPRINKLER DESIGN BASIS SCHEDULE		
HAZARD CLASSIFICATION LOCATIONS	DESIGN BASIS	AREA OF COVERAGE PER SPRINKLER (MAX)
LIGHT HAZARD ELEVATOR LOBBY, CORRIDORS, STAIRWAY ENTRANCE	DENSITY 0.10 GPM/SF DESIGN AREA 1,500SF	225 SQ. FT.
ORDINARY HAZARD -1 STORAGE ROOMS, MECHANICAL ROOMS	DENSITY 0.15 GPM/SF DESIGN AREA 1,500SF	130 SQ. FT.



1 FIRE PROTECTION TEMPORARY SPRINKLER BASEMENT PLAN

0 8' 16' 32'
SCALE: 1/16" = 1'-0"

OGS
NYS OFFICE OF GENERAL SERVICES
Serving New York
ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:
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ARCHITECTS PC
A Joint Venture
225 Park Avenue South
New York, New York 10003

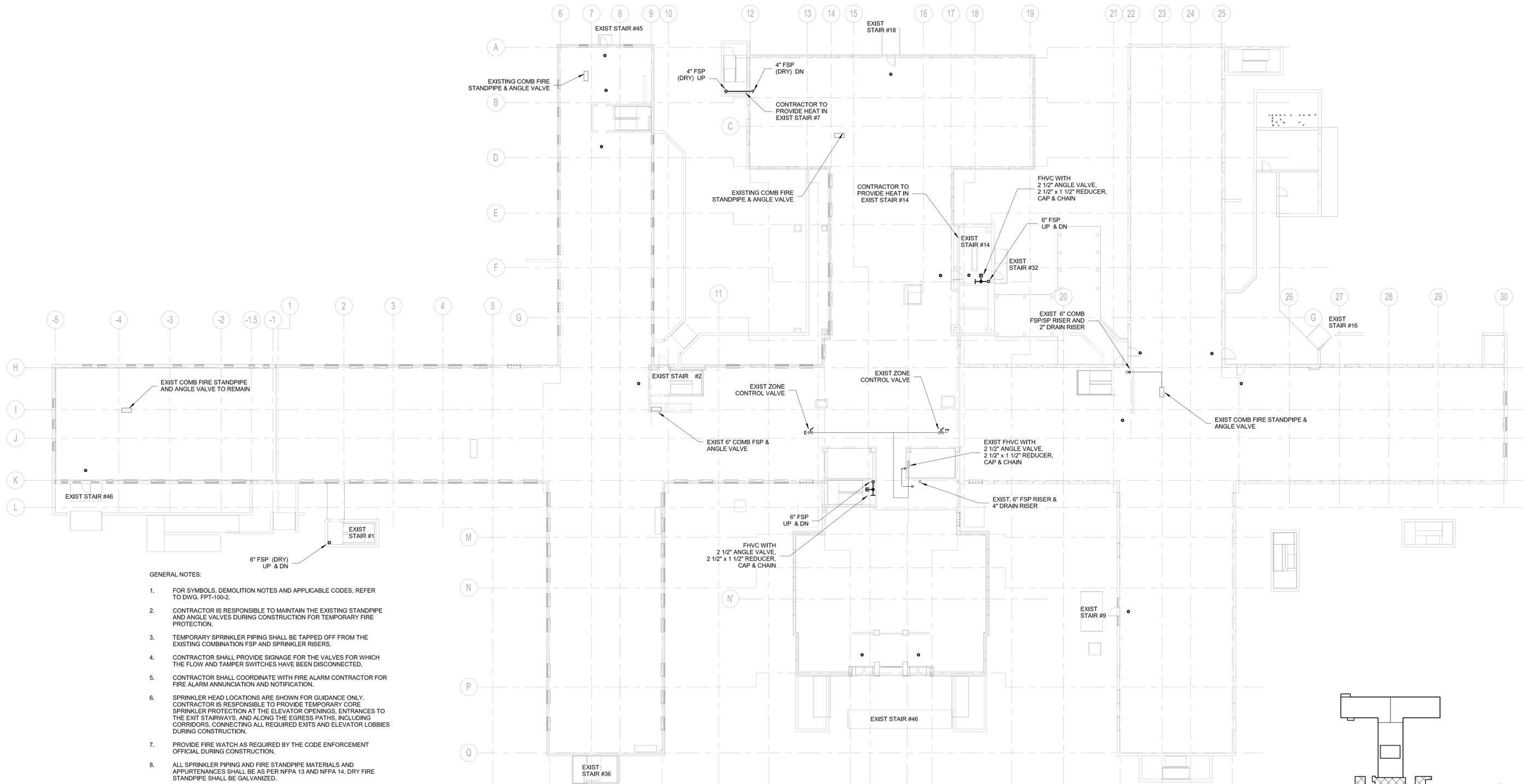
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CONTRACT:
CONSTRUCTION
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	PROJECT NUMBER:	44579
	6-30-2014	ADDENDUM 2	DESIGNED BY:	SM
	5-28-2014	BID DOCUMENT	DRAWN BY:	SM
			FIELD CHECK:	TW
			APPROVED:	BG

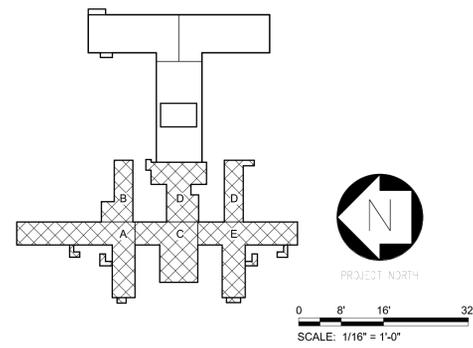
SHEET TITLE:
**FIRE PROTECTION
TEMPORARY SPRINKLER
BASEMENT PLAN**
BUILDING NUMBER: **102**
DRAWING NUMBER: **FPT-100-2**
SHEET 181 of 186

7/2/2014 1:35:41 PM



- GENERAL NOTES:**
1. FOR SYMBOLS, DEMOLITION NOTES AND APPLICABLE CODES, REFER TO DWG. FPT-100-2.
 2. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
 3. TEMPORARY SPRINKLER PIPING SHALL BE TAPPED OFF FROM THE EXISTING COMBINATION FSP AND SPRINKLER RISERS.
 4. CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN DISCONNECTED.
 5. CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION.
 6. SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION.
 7. PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
 8. ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFPA 13 AND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.

1 FIRE PROTECTION TEMPORARY SPRINKLER FIRST FLOOR PLAN



7/2/2014 1:35:41 PM

ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:

A Joint Venture
225 Park Avenue South
New York, New York 10003

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CONTRACT:
CONSTRUCTION

TITLE:
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS

LOCATION:
BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT:
NYS OFFICE OF MENTAL HEALTH

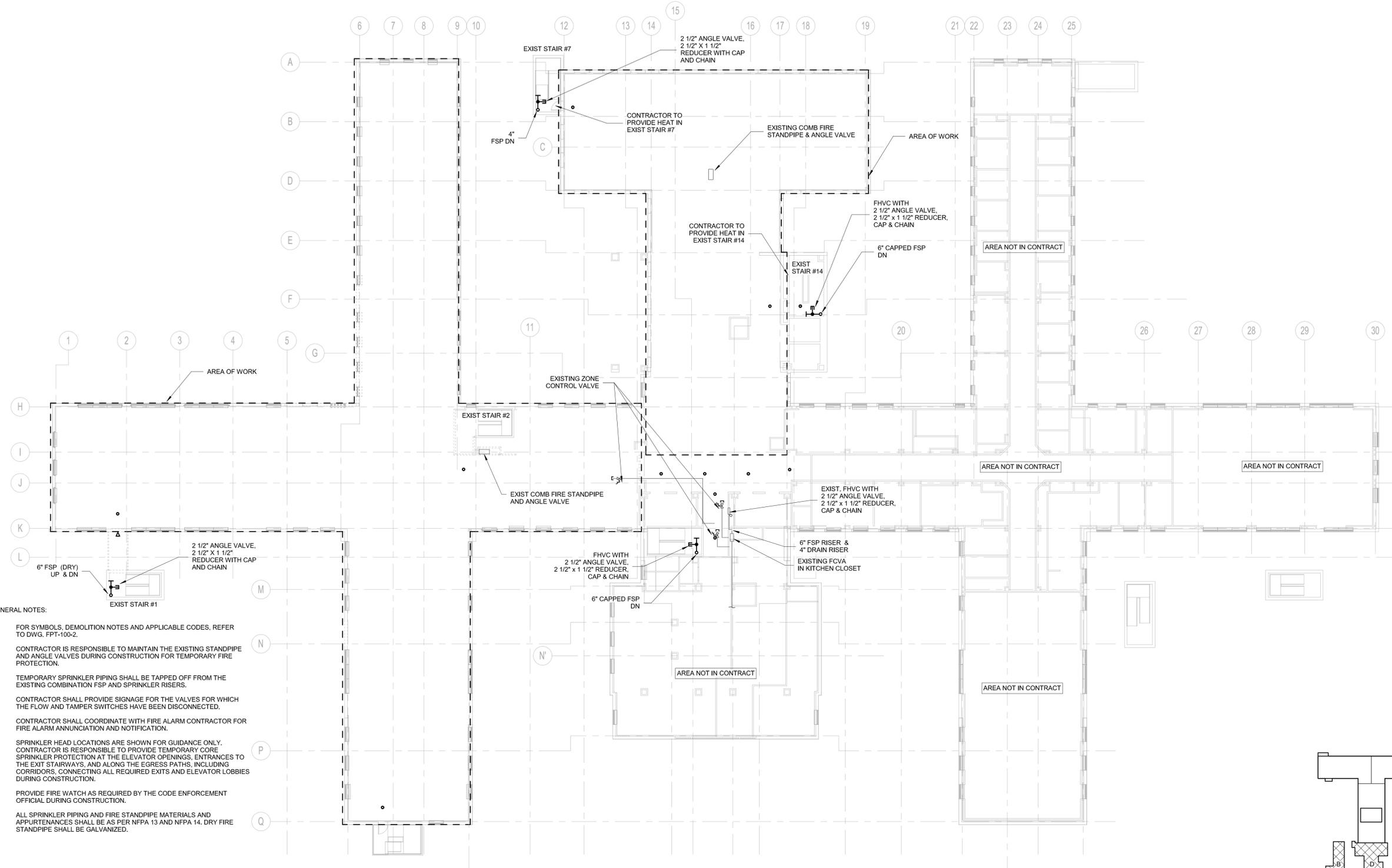
MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM 2	SM
	5-28-2014	BID DOCUMENT	TW
			BG

PROJECT NUMBER: 44579
DESIGNED BY: SM
DRAWN BY: SM
FIELD CHECK: TW
APPROVED: BG

SHEET TITLE:
**FIRE PROTECTION
TEMPORARY SPRINKLER
FIRST FLOOR PLAN**

BUILDING NUMBER: 102
DRAWING NUMBER: FPT-101-2

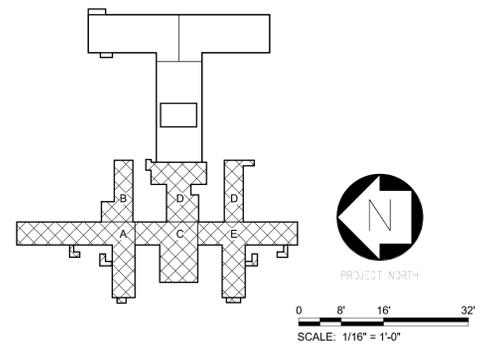
SHEET 182 of 186



GENERAL NOTES:

1. FOR SYMBOLS, DEMOLITION NOTES AND APPLICABLE CODES, REFER TO DWG. FPT-100-2.
2. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
3. TEMPORARY SPRINKLER PIPING SHALL BE TAPPED OFF FROM THE EXISTING COMBINATION FSP AND SPRINKLER RISERS.
4. CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN DISCONNECTED.
5. CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION.
6. SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION.
7. PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
8. ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFPA 13 AND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.

1 FIRE PROTECTION TEMPORARY SPRINKLER SECOND FLOOR PLAN



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:

A Joint Venture
225 Park Avenue South
New York, New York 10003

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CONTRACT:
CONSTRUCTION

TITLE:
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS

LOCATION:
BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM 2	SM
	5-28-2014	BID DOCUMENT	TW
			BG

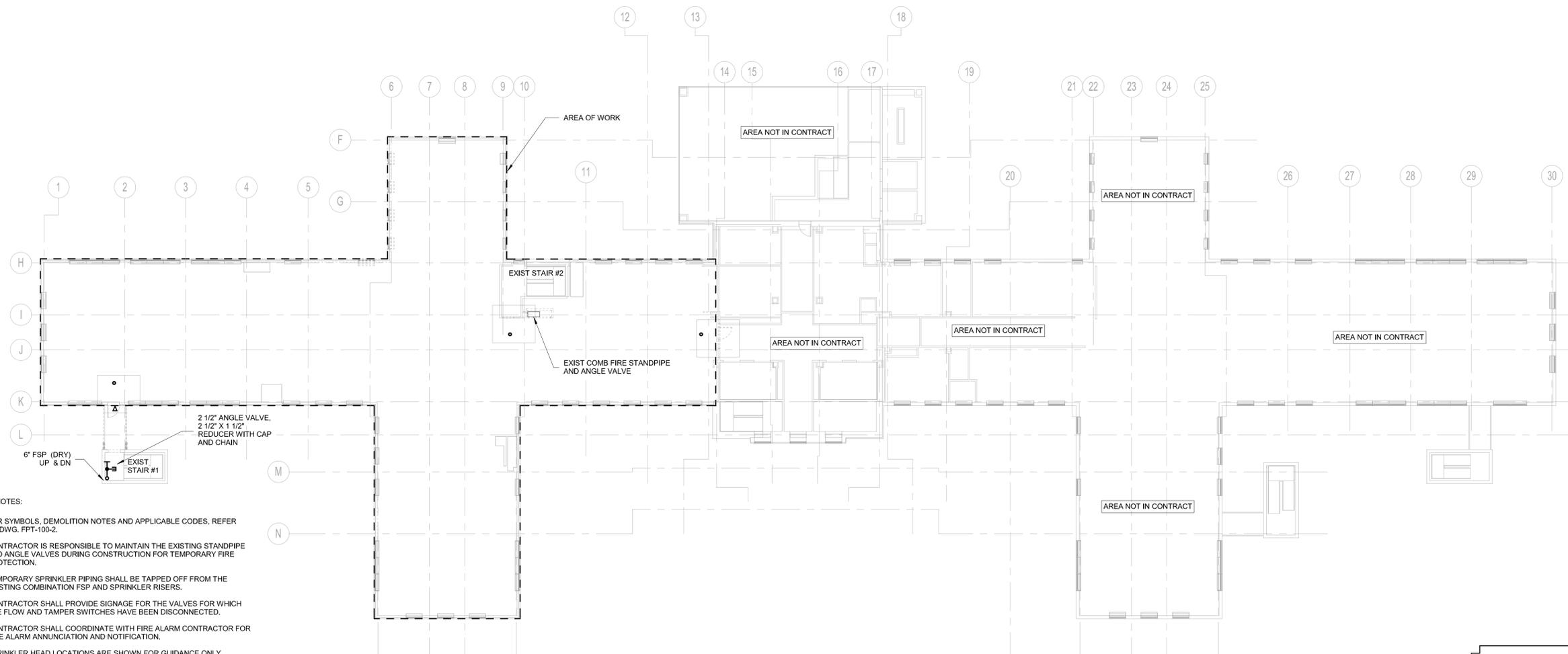
PROJECT NUMBER: 44579
DESIGNED BY: SM
DRAWN BY: SM
FIELD CHECK: TW
APPROVED: BG

SHEET TITLE:
**FIRE PROTECTION
TEMPORARY SPRINKLER
SECOND FLOOR PLAN**

BUILDING NUMBER: 102
DRAWING NUMBER: FPT-102-2

SHEET 183 of 186

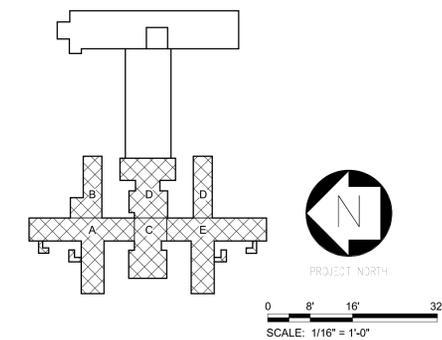
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GENERAL NOTES:

1. FOR SYMBOLS, DEMOLITION NOTES AND APPLICABLE CODES, REFER TO DWG. FPT-100-2.
2. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
3. TEMPORARY SPRINKLER PIPING SHALL BE TAPPED OFF FROM THE EXISTING COMBINATION FSP AND SPRINKLER RISERS.
4. CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN DISCONNECTED.
5. CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION.
6. SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION.
7. PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
8. ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFPA 13 AND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.

1 FIRE PROTECTION TEMPORARY SPRINKLER PLAN - TYPICAL FOR THIRD THRU ELEVENTH FLOOR



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:



WARNING:
THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.



CONTRACT:

CONSTRUCTION
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

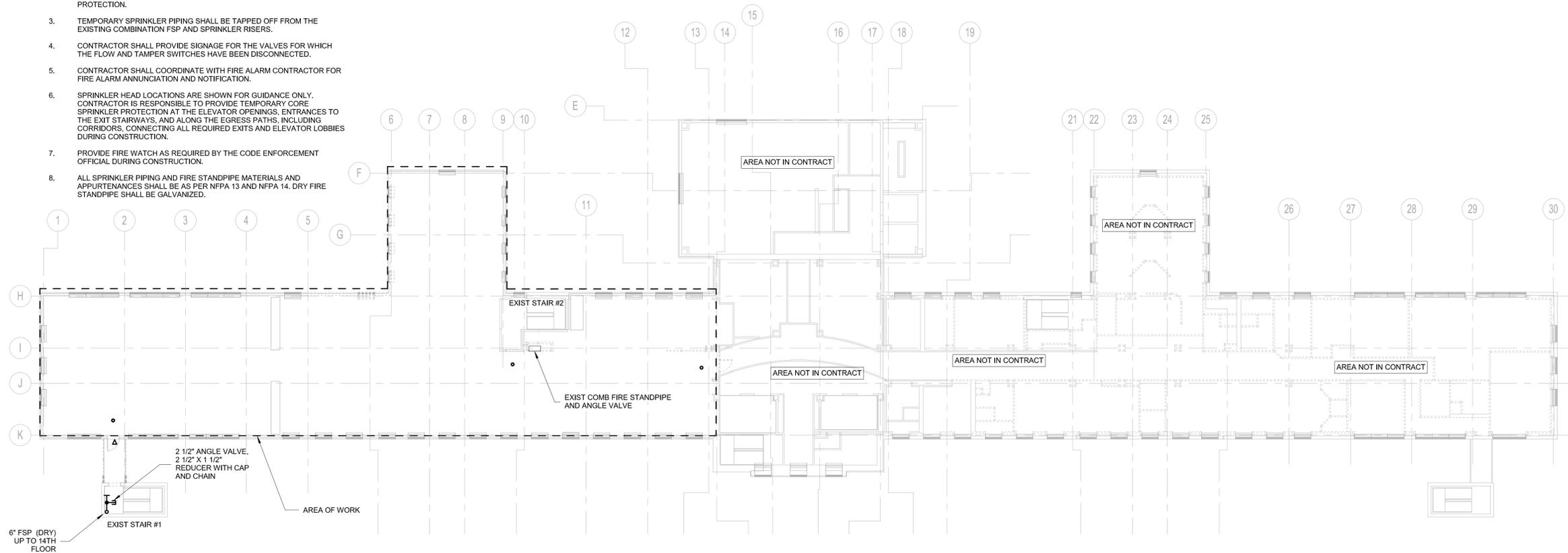
MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM 2	SM
	5-28-2014	BID DOCUMENT	TW
			BG

PROJECT NUMBER: 44579
DESIGNED BY: SM
DRAWN BY: SM
FIELD CHECK: TW
APPROVED: BG

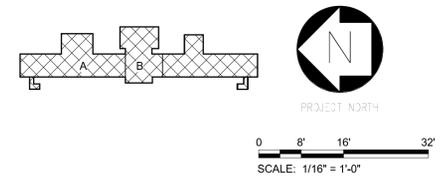
SHEET TITLE:	
FIRE PROTECTION TEMPORARY SPRINKLER PLAN - TYPICAL FOR THIRD THRU ELEVENTH FLOOR	
BUILDING NUMBER: 102	DRAWING NUMBER: FPT-103-2
SHEET 184 of 186	

GENERAL NOTES:

1. FOR SYMBOLS, DEMOLITION NOTES AND APPLICABLE CODES, REFER TO DWG. FPT-100-2.
2. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
3. TEMPORARY SPRINKLER PIPING SHALL BE TAPPED OFF FROM THE EXISTING COMBINATION FSP AND SPRINKLER RISERS.
4. CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN DISCONNECTED.
5. CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION.
6. SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION.
7. PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
8. ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFPA 13 AND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.



1 FIRE PROTECTION TEMPORARY SPRINKLER FLOOR PLAN - TYPICAL FOR TWELFTH THRU FIFTEENTH FLOOR



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:



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CONTRACT:

CONSTRUCTION
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM 2	SM
	5-28-2014	BID DOCUMENT	TW
			BG

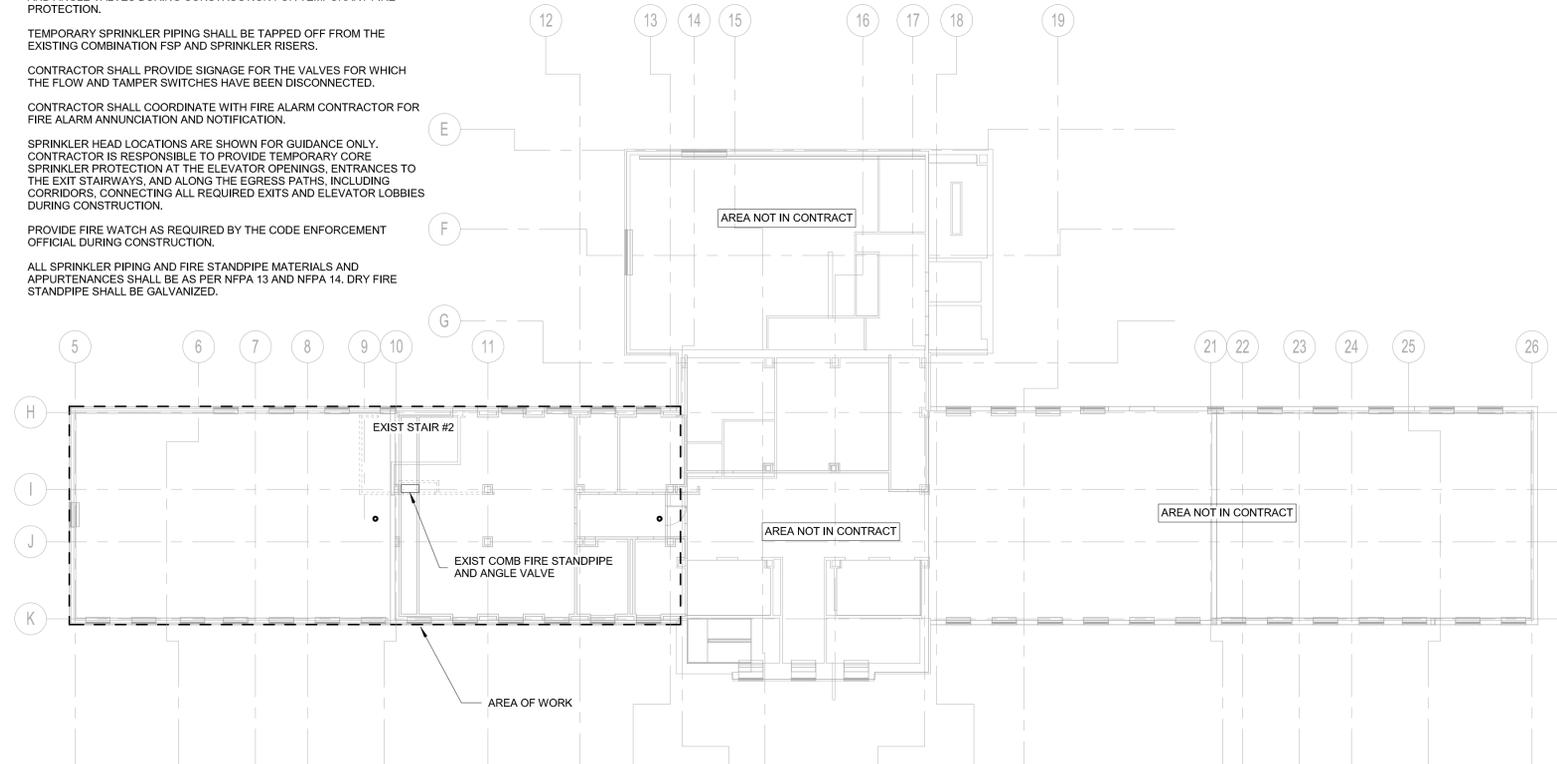
PROJECT NUMBER: 44579
DESIGNED BY: SM
DRAWN BY: SM
FIELD CHECK: TW
APPROVED: BG

SHEET TITLE: FIRE PROTECTION
TEMPORARY SPRINKLER
FLOOR PLAN - TYPICAL FOR
TWELFTH THRU FIFTEENTH
FLOOR

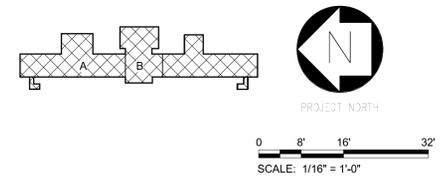
BUILDING NUMBER: 102
DRAWING NUMBER: FPT-112-2
SHEET 185 of 186

GENERAL NOTES:

- FOR SYMBOLS, DEMOLITION NOTES AND APPLICABLE CODES, REFER TO DWG. FPT-100-2.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE EXISTING STANDPIPE AND ANGLE VALVES DURING CONSTRUCTION FOR TEMPORARY FIRE PROTECTION.
- TEMPORARY SPRINKLER PIPING SHALL BE TAPPED OFF FROM THE EXISTING COMBINATION FSP AND SPRINKLER RISERS.
- CONTRACTOR SHALL PROVIDE SIGNAGE FOR THE VALVES FOR WHICH THE FLOW AND TAMPER SWITCHES HAVE BEEN DISCONNECTED.
- CONTRACTOR SHALL COORDINATE WITH FIRE ALARM CONTRACTOR FOR FIRE ALARM ANNUNCIATION AND NOTIFICATION.
- SPRINKLER HEAD LOCATIONS ARE SHOWN FOR GUIDANCE ONLY. CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY CORE SPRINKLER PROTECTION AT THE ELEVATOR OPENINGS, ENTRANCES TO THE EXIT STAIRWAYS, AND ALONG THE EGRESS PATHS, INCLUDING CORRIDORS, CONNECTING ALL REQUIRED EXITS AND ELEVATOR LOBBIES DURING CONSTRUCTION.
- PROVIDE FIRE WATCH AS REQUIRED BY THE CODE ENFORCEMENT OFFICIAL DURING CONSTRUCTION.
- ALL SPRINKLER PIPING AND FIRE STANDPIPE MATERIALS AND APPURTENANCES SHALL BE AS PER NFPA 13 AND NFPA 14. DRY FIRE STANDPIPE SHALL BE GALVANIZED.



1 FIRE PROTECTION TEMPORARY SPRINKLER SIXTEENTH FLOOR PLAN



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:



WARNING:

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CONTRACT:

CONSTRUCTION
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM 2	SM
	5-28-2014	BID DOCUMENT	TW
			BG

SHEET TITLE:

FIRE PROTECTION
TEMPORARY SPRINKLER
SIXTEENTH FLOOR PLAN

BUILDING NUMBER: 102	DRAWING NUMBER: FPT-116-2
SHEET 186 of 186	

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GENERAL ARCHITECTURAL NOTES

- DRAWINGS ARE DESIGNED TO BE PRINTED OR REPRODUCED AS FULL SIZE SHEETS, 24" HIGH X 36" WIDE. TO BE USED FOR REVIEW, ESTIMATING, AND CONSTRUCTION. PRINTING OR REPRODUCTION OF THESE DRAWINGS AT A PATIO SMALLER THAN 1:1 IS NOT RECOMMENDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK WITH ALL SUB-CONTRACTORS AND APPLICABLE TRADES.
- ALL WORK SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST STANDARD RECOMMENDATIONS AND APPLICABLE CODES.
- FOR LEGEND AND ABBREVIATIONS SEE DRAWING G-006 AND THIS DRAWING.
- COORDINATE OPENING LOCATIONS AND SIZES THROUGH PARTITIONS ABOVE THE CEILINGS REQUIRED PENETRATIONS WITH MEP AND PROCESS DRAWINGS.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF LIGHT FIXTURES, SPRINKLER HEADS, REGISTERS, ETC. WITH THE ELECTRICAL, MECHANICAL, PLUMBING, AND SPRINKLER DRAWINGS. ALL SPRINKLER HEADS, DIFFUSERS AND REGISTERS SHALL BE CENTERED IN SUSPENDED CEILING PANELS, UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR SHALL FILL ALL VOIDS IN MASONRY AND CONCRETE AROUND ALL PENETRATIONS WITH CONSTRUCTION TO MATCH SURROUNDING CONDITIONS.
- BUILDING FINISHED FLOOR REFERENCE ELEVATION 100'-0" EQUALS 31.25' FIRST FLOOR. REFER TO CIVIL DRAWINGS FOR ACTUAL ELEVATION.
- CORRIDORS AND EXIT PASSAGES SHALL COMPLY WITH THE NY STATE BUILDING CODE.
- ALL FIRE RETARDANT WOOD USED FOR BLOCKING OR OTHER FRAMING SHALL COMPLY WITH REQUIREMENTS OF THE NY STATE BUILDING CODE. ALL FIRE RETARDANT WOOD SHALL BEAR THE IDENTIFICATION OF THE TESTING LABORATORY OF THE PRODUCER CERTIFYING THE PERFORMANCE THEREOF IN ACCORDANCE WITH THE ACCEPTANCE REQUIREMENT OF THE NY STATE BUILDING CODE.
- PROVIDE WALL REINFORCEMENT FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- ALL MEANS OF EGRESS MUST BE MAINTAINED BY THE GENERAL CONTRACTOR AND KEPT FREE OF ALL MATERIAL.
- FOR NOTES AND SYMBOLS FOR OTHER TRADES, SEE THE DRAWING RELATED TO THAT WORK.

FIRE RATED PARTITION NOTES

- THERE ARE VERY FEW TEMPORARY FIRE RATED PARTITION IN THIS BID PACKAGE LOCATED ON THE BASEMENT, FIRST AND SECOND FLOORS. REFERENCES TO EXISTING RATED PARTITIONS ARE FOR INFORMATION ONLY.
- ALL SHAFTS INCLUDING NEW INTERIOR STAIR ENCLOSURES, DUCT, AND MECHANICAL SHAFTS SHALL HAVE A MINIMUM RATING OF TWO (2) HOURS IN ACCORDANCE WITH THE NY STATE BUILDING CODE.
- ALL NEW 2-HOUR, 1-HOUR, AND SMOKE PARTITIONS SHALL BE DESIGNATED ON THE DRAWINGS WITH UL ASSEMBLIES INDICATED ON RELATED DETAILS.
- ALL 1-HOUR, 2-HOUR RATED PARTITIONS, AND SMOKE PARTITIONS SHALL BE OF NON COMBUSTIBLE METAL STUD AND FIRE RATED TYPE 'X' GYPSUM WALLBOARD FROM THE FLOOR SLAB TO THE UNDERSIDE OF SLAB OR STRUCTURE AT THE FLOOR ABOVE.

FIRE RATED DOOR NOTES

- THERE ARE NO NEW DOORS INCLUDED IN THIS BID PACKAGE. REFERENCES TO EXISTING RATED DOOR IS FOR INFORMATION ONLY.
- ALL DOORS IN PARTITIONS SCHEDULED TO BE 1-HOUR RATED SHALL BE 3/4-HOUR FIRE RESISTANCE RATING ('B' LABEL) SELF-CLOSING DOORS UNLESS NOTED WITH A HIGHER RATING ON THE DRAWINGS.
- ALL DOORS IN PARTITIONS SCHEDULED TO BE 2-HOUR RATED SHALL BE 1-1/2 HOUR FIRE RESISTANCE RATING ('B' LABEL) SELF-CLOSING DOORS UNLESS NOTED WITH A HIGHER RATING ON THE DRAWINGS.

INTERIOR FINISHES NOTES

- ALL INTERIOR FINISHES, WALL COVERINGS SHALL BE CLASS 'A' RATED.

GENERAL DEMOLITION NOTES

- COMPLETE DEMOLITION WORK: REMOVE AND DISPOSE OFF STATE PROPERTY ALL EXISTING: WALLS, DOORS, GLAZING, FRAMES, FIXED FURNITURE, EQUIPMENT, MOVABLE PARTITIONS, PARTITION TRACKS, STAINLESS STEEL GRAB BARS THROUGHOUT INCLUDING ON CORRIDOR WALLS, ELECTRICAL & MECHANICAL EQUIPMENT & WIRING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK. ANY WORK STARTED BEFORE CONSULTATION AND ACCEPTANCE BY THE OWNER'S REPRESENTATIVE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBJECT TO CORRECTIONS BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.

GENERAL DEMOLITION NOTES (CONTINUED)

- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTION ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- ANY DEVICE INTERFERING WITH DEMOLITION WORK NOT ON THESE DRAWINGS SHALL NOT BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR SAFE HANDLING AND DISPOSAL OF ALL LEAD BASED PAINT CONTAINING COMPONENTS (SEE SPECIFICATION SECTION 13286 - HANDLING OF LEAD CONTAINING MATERIALS).
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING THE WEATHER TIGHTNESS OF THE BUILDING AS A RESULT OF ANY OF HIS OPERATIONS FOR SCHEDULING. ALL WORK AREAS SHALL BE COMPLETELY SECURED FROM THE WEATHER THE SAME DAY AND BEFORE THE ONSET OF ANY PRECIPITATION. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- WEATHER TIGHT ENCLOSURES AT EXISTING WINDOW OPENING: IMMEDIATELY AFTER WINDOWS ARE REMOVED UNDER ACM ABATEMENT WORK AND AREA IS CLEARED, PROVIDE TEMPORARY WEATHER TIGHT ENCLOSURES AT ALL REMOVED WINDOW OPENINGS. ENCLOSURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL PERMANENT WINDOWS ARE INSTALLED. REFER TO DRAWINGS NUMBERS WI-901 AND WI-902 FOR ADDITIONAL NOTES AND DETAILED DIRECTIONS.
- DURING DEMOLITION, TEMPORARY PARTITIONS TO SEAL OPENINGS TO PREVENT DUST AND DIRT FROM FILTERING INTO OCCUPIED AREAS ARE TO BE PROVIDED BY THE CONTRACTOR.
- MEANS OF EGRESS: CONTRACTOR SHALL MAINTAIN A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ANY POINT (ALL FLOORS AND ADJACENT SPACES INTO EXISTING FIRE STAIRS) IN A-SIDE DUNLAP BUILDING NO.102 (WORK AREA) TO A PUBLIC WAY (THE EXTERIOR OF THE BUILDING) IN STRICT ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE.
- PROVIDE BARRICADES AROUND WORK AREAS AS REQUIRED TO PREVENT UNAUTHORIZED PERSONS FROM ENTERING THEREIN.
- PROVIDE DEMOLITION FOR ALL EQUIPMENT SHOWN ON PLANS (BOTH DASHED AND SOLID) AND AS REQUIRED FOR REMOVAL OR ABANDONMENT OF SYSTEMS EQUIPMENT AND DEVICES, ETC. MADE OBSOLETE BY THIS PROJECT, AND AS REQUIRED FOR FUTURE DEMOLITION AND REMODELING WORK.
- IT IS RECOMMENDED THAT PRIOR TO BIDDING, CONTRACTOR SHALL EXAMINE THE PROJECT SITE TO DETERMINE ALL ACTUAL OBSERVABLE CONDITIONS.
- FIRESTOPPING: FIRESTOP (PATCH AND MADE FIRE SAFE AND SMOKE TIGHT) ALL HOLES THAT REMAIN IN FLOORS, WALLS AND CEILINGS RESULTING FROM THE REMOVAL OF DUCT WORK, PIPE RUNS, CONDUITS, AND THE LIKE. ALL THIS WORK IS A PART OF THIS CONTRACT AND SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL THE WORK WILL BE PERFORMED AT NO ADDITIONAL COST TO THE STATE.
- PERFORM SELECTIVE DEMOLITION ALTERATIONS AND RELATED WORK IN ACCORDANCE WITH REQUIREMENTS OF BOTH CONTRACT DOCUMENTS AND OWNER/OGS. PROVIDE RECYCLING OF REMOVED MATERIALS. PROVIDE TEMPORARY PROTECTION TO ENSURE AREAS ARE MAINTAINED IN PRISTINE CONDITION.
- PRIOR TO THE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS, APPROVALS FROM ALL RESPECTIVE DEPARTMENTS, AGENCIES, COMMISSIONS HAVING JURISDICTION AND SHALL SUBMIT ONE COPY TO THE OWNER, ARCHITECT, GENERAL CONTRACTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING CODE OF THE STATE OF NEW YORK AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION.
- THE CONTRACTOR SHALL EMPLOY MEANS AND METHODS THAT MINIMIZE VIBRATION, NOISE, DUST, POLLUTANTS AND OTHER DISTURBANCES TO THE OPERATION OF ADJACENT AREAS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION CONDITION AND DIMENSION PRIOR TO COMMENCEMENT OF ANY DEMOLITION OPERATIONS. COMMENCEMENT OF THE WORK SHALL IMPLY ACCEPTANCE OF EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR SPACES AND ASSEMBLIES ADJACENT TO THE AREA OF OPERATION UNDER THIS CONTRACT. ANY DAMAGE OR DISTURBANCE RESULTING FROM WORK DONE UNDER THIS CONTRACT SHALL BE PROMPTLY RESTORED, REPLACED OR REPAIRED.
- ALL RECESSES IN THE EXISTING SLAB MUST BE FILLED WITH LIGHT WEIGHT CONCRETE IN ORDER TO PROVIDE A LEVEL AND ACCEPTABLE SURFACE - EXAMPLE: A) RECESSED AT EXTERIOR WALL/WINDOWS, B) RECESS/SLOT REMAINING DUE TO REMOVAL OF MASONRY PARTITIONS, OR FURRINGS AT COLUMNS AND EXTERIOR WALLS, C) PIPE SPACES D) CLOSETS

GENERAL DEMOLITION NOTES (CONTINUED)

- REMOVAL OF ALL CONCRETE CURBS, SADDLES OR ELECTRIC CLOSET SLABS WHICH EXTEND VERTICALLY ABOVE THE LINE OF THE FINISHED SLAB.
- THE CONTRACTOR SHALL FILL AND PATCH PIPE AND DUCT HOLES RESULTING FROM DEMOLITION, INCLUDING THOSE FROM MOUNTINGS AND HANGERS, AND ANY OTHER EXISTING FLOOR PENETRATIONS WITH A 2-HOUR RATED UL-APPROVED ASSEMBLY. DO NOT FILL AND PATCH HOLES IN WALLS SLATED FOR DEMOLITION.
- ALL PENETRATIONS ARE TO BE SEALED WITH A 2 HOUR RATED ASSEMBLY. ADDITIONALLY, THERE ARE APPROXIMATELY 56 PENETRATIONS BETWEEN THE FIRST AND THE SECOND FLOOR. DRAWINGS P-4, P-6 AND P-28 FROM FEBRUARY 24, 1992 DESIGN PACKAGE ARE INCLUDED FOR REFERENCE.

DEFINITIONS

- REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY RECYCLE THEM OFF-SITE UNLESS INDICATED SALVAGE AND REUSE.
- REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND DELIVER THEM TO OWNER/OGS.
- EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED FOR RECYCLING OR REMOVED AND SALVAGED FOR REUSE.

SCHEDULING

- BEFORE COMMENCING ANY DEMOLITION WORK, SUBMIT FOR REVIEW BY THE ARCHITECT AND ACCEPTANCE BY THE OWNER/OGS, A SCHEDULE SHOWING THE COMMENCEMENT, THE ORDER, AND THE COMPLETION DATES FOR THE VARIOUS PARTS OF THIS WORK.
- BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITIES THAT WILL TEMPORARILY DISCONTINUE OR DISRUPT SERVICE, NOTIFY THE OWNER AND ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE AND OBTAIN THE OWNER/OGS APPROVAL IN WRITING BEFORE PROCEEDING WITH THE WORK.

QUALITY ASSURANCE

- DEMOLITION FIRM QUALIFICATIONS: AN EXPERIENCED FIRM THAT HAS SPECIALIZED IN DEMOLITION WORK SIMILAR IN MATERIAL AND EXTENT TO THAT INDICATED FOR THIS PROJECT.
- REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING REGULATIONS BEFORE BEGINNING DEMOLITION COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- HAZARDOUS MATERIALS (SEE SPECS).
- STORAGE OF SALVAGED ITEMS DESIGNATED FOR REUSE SHALL BE APPROVED BY OWNER/OGS OR THE ARCHITECT.
- STORAGE OF REMOVED ITEMS FOR RECYCLING IS NOT PERMITTED ON-SITE.

PROTECTION

- SHORING AND BRACING: COORDINATE WITH PROBES TO ASCERTAIN ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION INCLUDING PROTECTION OF ADJACENT AREAS. STRUCTURAL AND MECHANICAL WORK FOR EXPLORATIONS AND PROBING ARE PART OF THEIR RESPECTIVE WORK AS WELL AS THE AFFECTED WORK OF RELATED TRADES.
- PROVIDE, ERECT, AND MAINTAIN LIGHTS, BARRIERS, WEATHER PROTECTION, WARNING SIGNS, AND OTHER ITEMS AS REQUIRED FOR PROPER PROTECTION OF THE WORKMAN ENGAGED IN DEMOLITION OPERATIONS.
- PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF THE EXISTING CORE SPACES DESIGNATED TO REMAIN WHERE WORK IS BEING DONE, CONNECTIONS MADE, MATERIALS HANDLED OR EQUIPMENT MOVED.
- TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM RISING BY WETTING DEMOLISHED DEBRIS. PROTECT UNALTERED PORTIONS OF THE EXISTING BUILDING AFFECTED BY THE OPERATIONS UNDER THIS SECTION BY DUSTPROOF PARTITIONS AND OTHER ADEQUATE MEANS, SUBJECT TO REVIEW AND ACCEPTANCE OF THE ARCHITECT.
- BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE BY REASON OF THE INSUFFICIENCY OF PROTECTION PROVIDED.
- DO NOT CLOSE OR OBSTRUCT WALKWAYS, PASSAGEWAYS OR STAIRWAYS. DO NOT STORE OR PLACE MATERIALS IN PASSAGEWAYS, STAIRS OR OTHER MEANS OF EGRESS. CONDUCT OPERATIONS WITH MINIMUM TRAFFIC INTERFERENCE.

PROTECTION (CONTINUED)

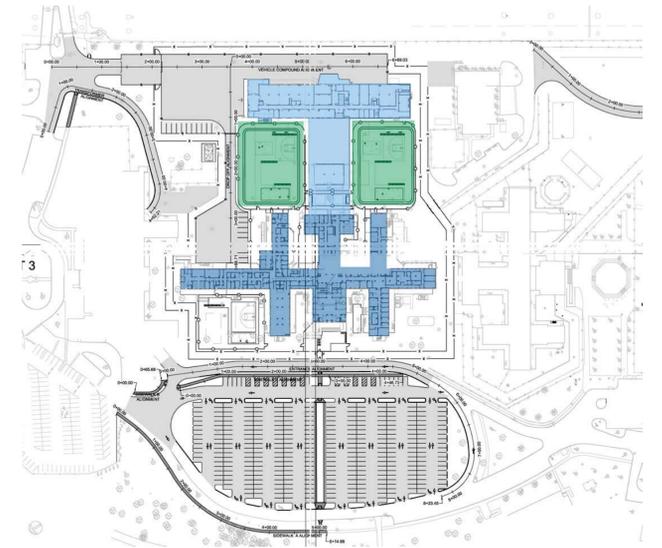
- BE RESPONSIBLE FOR PROVIDING A SAFE AND HEALTHY ENVIRONMENT FOR EMPLOYEES, SUBCONTRACTORS, CUSTOMERS AND THE PUBLIC. THE CONTRACTOR IS REQUIRED TO PROVIDE MATERIALS, PRODUCTS AND PROCEDURES WHICH WILL ENSURE A BENIGN ENVIRONMENT.
- BE RESPONSIBLE FOR PROTECTING NON-INVOLVED FACILITIES AND PERSONNEL FROM POTENTIAL IMPACT OF THE WORK OF THIS CONTRACT INCLUDING THAT WHICH WOULD AFFECT THE ENVIRONMENT AND POSITIVE INDOOR AIR QUALITY.
- MAINTAIN EGRESS - BASEMENT FLOOR, AND AS NECESSARY ON ALL OTHER FLOORS.

EXAMINATION

- SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF DEMOLITION REQUIRED AND WORK DESIGNATED TO REMAIN.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTENT OF THE ELEMENT. PROMPTLY SUBMIT A WRITTEN REPORT TO ARCHITECT.
- TEMPORARY SHORING: PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED, BY OTHERS, IF REQUIRED.

WORKMANSHIP

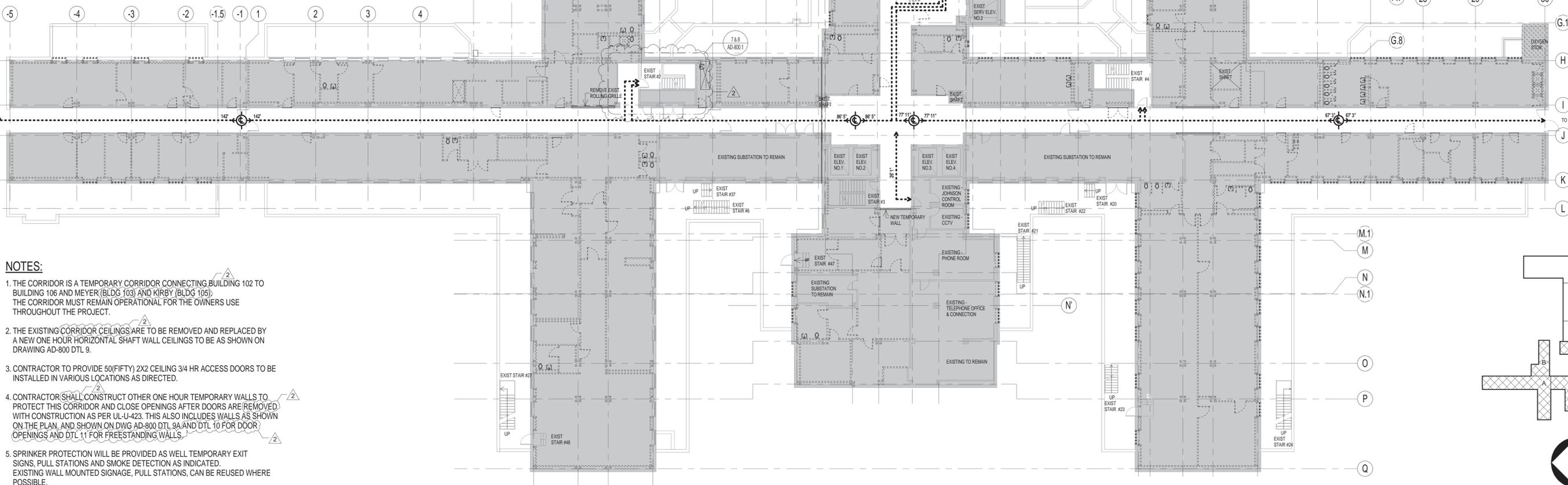
- PERFORM DEMOLITION, REMOVE AND ALTERATION WORK AS SHOWN, WITH DUE CARE, INCLUDING SHORING, BRACING, ETC. IF REQUIRED. BE RESPONSIBLE FOR DAMAGE, WHICH MAY BE CAUSED BY SUCH WORK, TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING RESTORATION AND NEW WORK IN CONJUNCTION WITH AND IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE RESPECTIVE TRADE SECTION.
- EXECUTE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND TO THE WORKERS ON THE PROJECT
- REMOVE EXISTING MATERIALS AND FINISHES IN AREAS DESIGNATED. REMOVAL SHALL BE COMPLETE TO ORIGINAL SUBSTRATE. PATCH EXISTING SUBSTRATES WITH MATERIALS SUITABLE FOR INTENDED USE FOLLOWING MANUFACTURER'S INSTRUCTIONS. LEVEL SUBSTRATES, PATCHING TO ALIGN WITH EXISTING FLOOR FINISHES OR AS REQUIRED TO ALIGN WITH NEW FLOOR FINISHES. WHERE FEATHERING IS REQUIRED, EXTEND WORK FOR GREATEST LENGTH POSSIBLE TO PREVENT SUDDEN TRANSITIONS IN HORIZONTAL OR VERTICAL SURFACES.
- WHERE AREAS OF ALTERATION OCCUR, WHERE NEW AND OLD WORK JOIN, CUT, REMOVE, PATCH, REPAIR OR REFINISH THE ADJACENT SURFACES OR SO MUCH THEREOF AS IS REQUIRED BY THE INVOLVED CONDITIONS, AND LEAVE IN AS GOOD A CONDITION AS EXISTED PRIOR TO THE COMMENCING OF THE WORK.
- FINISH NEW AND ADJACENT EXISTING SURFACES AS SPECIFIED FOR NEW WORK. CLEAN EXISTING SURFACES OF DIRT, GREASE, LOOSE PAINT, ETC. BEFORE REFINISHING.
- CUT OUT EMBEDDED ANCHORAGE AND ATTACHMENT ITEMS AS REQUIRED TO PROPERLY PROVIDE FOR PATCHING AND REPAIR OF THE RESPECTIVE FINISHES.
- EXISTING DEVICES IN WALLS OR RELATED CONSTRUCTION TO REMAIN THAT HAVE NOT BEEN DESIGNATED AS "EXISTING TO REMAIN" SHALL BE REMOVED AND SHALL HAVE SERVICES DISCONNECTED AND CABLES OR WIRING REMOVED. PATCH AND REPAIR VOIDS TO MATCH ADJACENT SURFACE FINISH.
- EXISTING FIXTURES, HARDWARE, AND OTHER APPURTENANCES OR ATTACHMENTS THAT ARE NOT REQUIRED BY THE WORK AND/OR ARE INDICATED IN THE CONTRACT DOCUMENTS SHALL BE REMOVED. PATCH AND REPAIR VOIDS TO MATCH ADJACENT SURFACE FINISH.



SITE PLAN N.T.S.

CODE CONSIDERATIONS:

1. THE PROJECT IS GOVERNED BY
 - BUILDING CODE OF NEW YORK STATE - 2010
 - EXISTING BUILDING CODE OF NEW YORK STATE 2010 LEVEL 3
 - NFPA-101-2000
2. THE BUILDING IS CLASSIFIED AS I-2 HOSPITAL.
3. THE AREAS INVOLVED IN THIS PROJECT ARE THE UPPER FLOORS OF THE 'A' SIDE OF BLDG 102 AND THE BASEMENT AND FIRST FLOORS OF BOTH 'A' & 'B'. THEY ARE CURRENTLY UNOCCUPIED WITH THE EXCEPTION OF THE CONNECTING CORRIDOR AT THE BASEMENT LEVEL WHICH IS SHOWN ON THIS DRAWING IN WHITE. THE GRAY SHADE ON THIS DWG DESIGNATES THE AREAS NOT ACCESSED BY PATIENT OR STAFF.
4. THE WORK INVOLVED INCLUDES DEMOLITION, ASBESTOS ABATEMENT SELECTIVE FLOOR STRENGTHENING AND WINDOW REPLACEMENT.
5. THE SUB SECTIONS THAT ARE APPLICABLE IN THE BUILDING CODE OF NY STATE ARE :
 - CHAPTER 33 " SAFE GUARDS DURING CONSTRUCTION " AND CHAPTER 14 OF THE EXISTING BUILDING CODE.
6. NFPA 101 2000 CODE REFERENCES IN CHAPTER 18, ARTICLE 18, 7, 9 - NFPA-241 " CONSTRUCTION REPAIR AND IMPROVEMENT OPERATIONS ".
7. THE EGRESS PLAN HAS BEEN DEVELOPED TO VERIFY THAT THERE IS NO LOCATION WITHIN THIS COMMUNICATION CORRIDOR THAT IS MORE THAN 150 FEET FROM A STAIR. THE CORRIDOR IS RATED AS 1 HOUR WITH OPENINGS PROTECTED BY 3/4 HR OR MORE PROTECTION.



NOTES:

1. THE CORRIDOR IS A TEMPORARY CORRIDOR CONNECTING BUILDING 102 TO BUILDING 106 AND MEYER (BLDG 103) AND KIRBY (BLDG 105). THE CORRIDOR MUST REMAIN OPERATIONAL FOR THE OWNERS USE THROUGHOUT THE PROJECT.
2. THE EXISTING CORRIDOR CEILINGS ARE TO BE REMOVED AND REPLACED BY A NEW ONE HOUR HORIZONTAL SHAFT WALL CEILINGS TO BE AS SHOWN ON DRAWING AD-800 DTL 9.
3. CONTRACTOR TO PROVIDE 50(FIFTY) 2X2 CEILING 3/4 HR ACCESS DOORS TO BE INSTALLED IN VARIOUS LOCATIONS AS DIRECTED.
4. CONTRACTOR SHALL CONSTRUCT OTHER ONE HOUR TEMPORARY WALLS TO PROTECT THIS CORRIDOR AND CLOSE OPENINGS AFTER DOORS ARE REMOVED WITH CONSTRUCTION AS PER UL-U-423. THIS ALSO INCLUDES WALLS AS SHOWN ON THE PLAN, AND SHOWN ON DWG AD-800 DTL 9A AND DTL 10 FOR DOOR OPENINGS AND DTL 11 FOR FREESTANDING WALLS.
5. SPRINKLER PROTECTION WILL BE PROVIDED AS WELL TEMPORARY EXIT SIGNS, PULL STATIONS AND SMOKE DETECTION AS INDICATED. EXISTING WALL MOUNTED SIGNAGE, PULL STATIONS, CAN BE REUSED WHERE POSSIBLE.

1 BASEMENT DEMOLITION EGRESS PLAN

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CONTRACT: CONSTRUCTION
TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION: BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY10035
CLIENT: NYS OFFICE OF MENTAL HEALTH

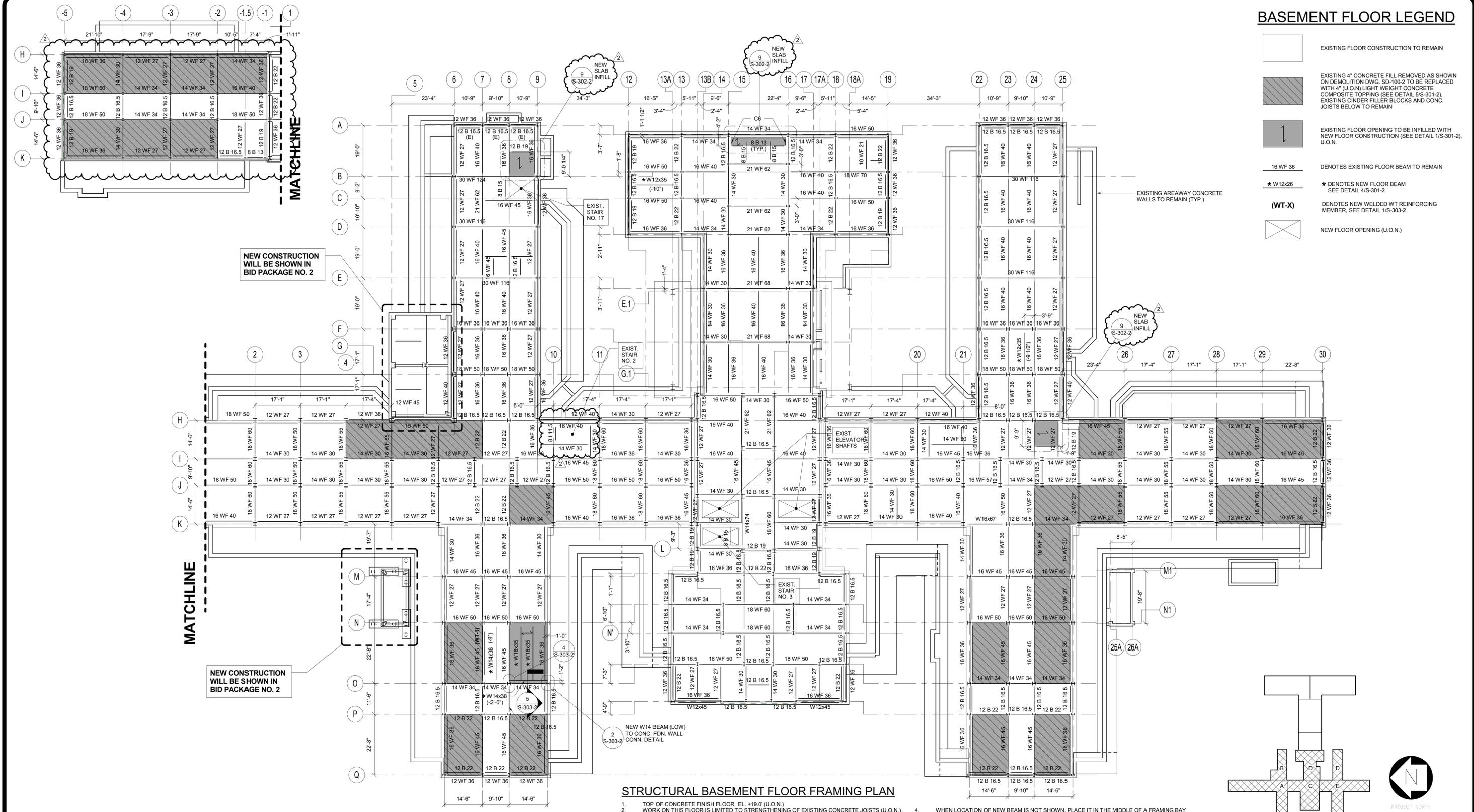
MARK	DATE	DESCRIPTION	PROJECT NUMBER:	44579
	6-30-2014	ADDENDUM #2	DESIGNED BY:	MAK / WW
	5-28-2014	BID DOCUMENT	DRAWN BY:	LR / LM / WW / JS / JM / DF / YB / YK
			FIELD CHECK:	LR / MA / DS / JM
			APPROVED:	WS / MAK / LF

SHEET TITLE:
EGRESS PLAN DURING BASEMENT DEMOLITION

BUILDING NUMBER: 102
DRAWING NUMBER: G-007
SHEET

BASEMENT FLOOR LEGEND

-  EXISTING FLOOR CONSTRUCTION TO REMAIN
-  EXISTING 4" CONCRETE FILL REMOVED AS SHOWN ON DEMOLITION DWG. SD-100-2 TO BE REPLACED WITH 4" (U.O.N.) LIGHT WEIGHT CONCRETE COMPOSITE TOPPING (SEE DETAIL S/S-301-2). EXISTING CINDER FILLER BLOCKS AND CONC. JOISTS BELOW TO REMAIN
-  EXISTING FLOOR OPENING TO BE INFILLED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2). U.O.N.
-  16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
-  * W12x26 * DENOTES NEW FLOOR BEAM SEE DETAIL 4/S-301-2
-  (WT-X) DENOTES NEW WELDED WT REINFORCING MEMBER, SEE DETAIL 1/S-303-2
-  NEW FLOOR OPENING (U.O.N.)



STRUCTURAL BASEMENT FLOOR FRAMING PLAN

1. TOP OF CONCRETE FINISH FLOOR EL. +19.0' (U.O.N.)
2. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE JOISTS (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA. SEE SHEET LEGEND FOR EXISTING FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING. SEE CONDITION #1 ON DETAIL 1/SD-001, AND DETAIL 2/SD-001.
3. REFER TO DETAIL 6/S-302-2 FOR NEW COMPOSITE CONCRETE FLOOR TOPPING.
4. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS), OR EQUAL SPACING.
5. TOP OF EXISTING STEEL ELEVATION 6\"/>



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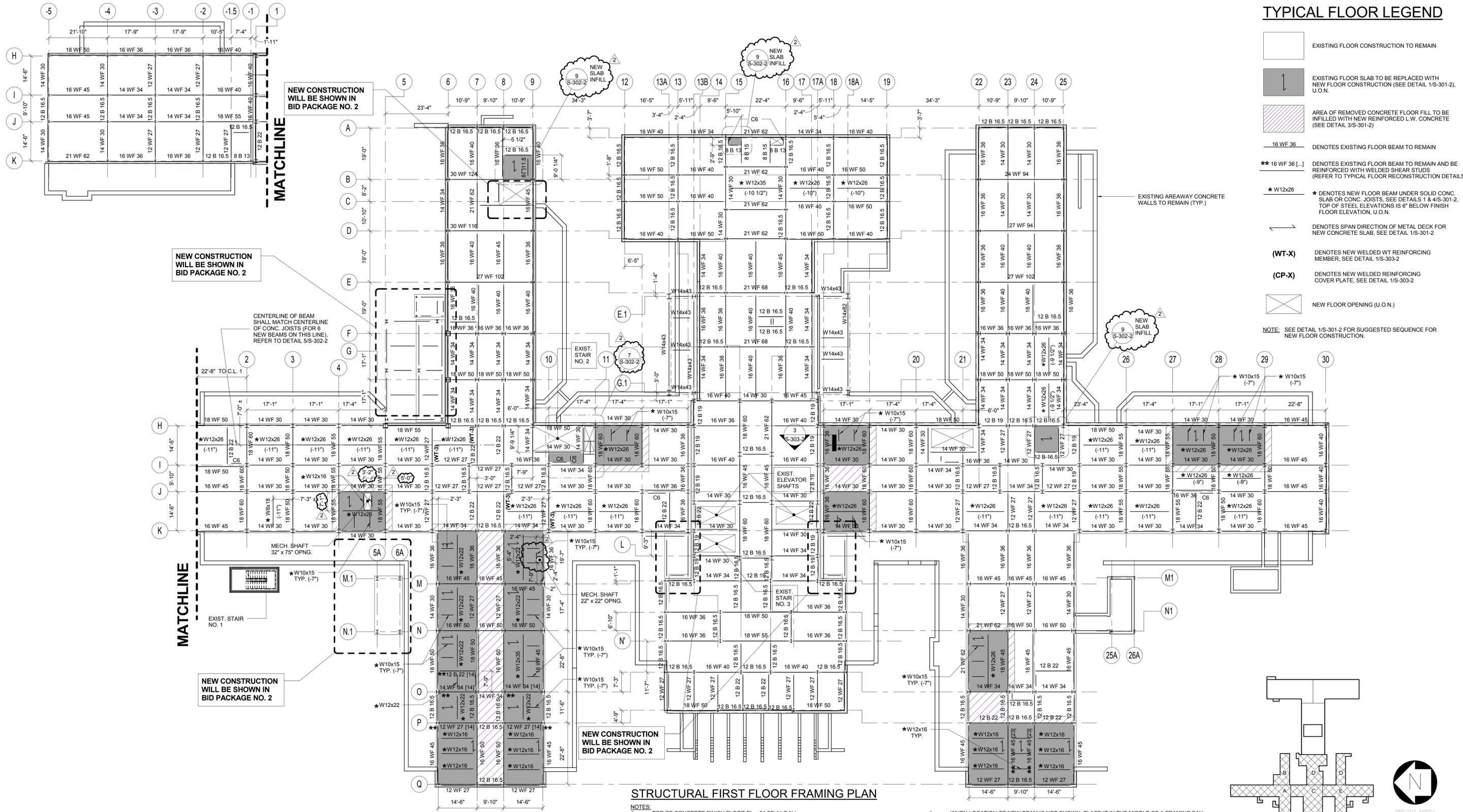
CONTRACT:
CONSTRUCTION
TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION: BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY 10035
CLIENT: NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
△	6-30-2014	ADDENDUM NO. 2	MR
	5-28-2014	BID DOCUMENT	CJL
		FIELD CHECK	ACC/JM
			ACC

PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

SHEET TITLE:
STRUCTURAL BASEMENT FLOOR FRAMING PLAN

BUILDING NUMBER: 102
DRAWING NUMBER: S-100-2
SHEET



TYPICAL FLOOR LEGEND

- EXISTING FLOOR CONSTRUCTION TO REMAIN
- EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
- AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
- 16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
- ** 16 WF 36 [] DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
- * W12x26 DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS, SEE DETAILS 1 & 4/S-301-2, TOP OF STEEL ELEVATIONS IS 6\"/>

NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.

STRUCTURAL FIRST FLOOR FRAMING PLAN

- NOTES:
1. TOP OF CONCRETE FINISH FLOOR EL. +31.25' (U.O.N.).
 2. NEW CONCRETE SLAB CONSTRUCTION IS 4\"/>

4. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS), OR EQUAL SPACING.
5. TOP OF EXISTING STEEL ELEVATION 6\"/>

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CONTRACT:
CONSTRUCTION
TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION: BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY 10035
CLIENT: NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
Δ	6-30-2014	ADDENDUM NO. 2	
	5-28-2014	BID DOCUMENT	

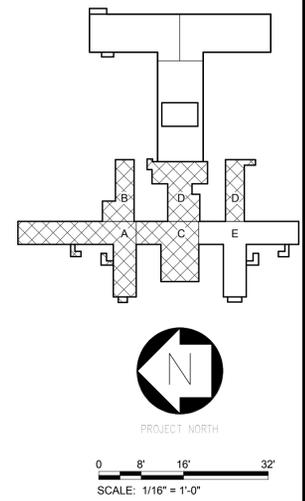
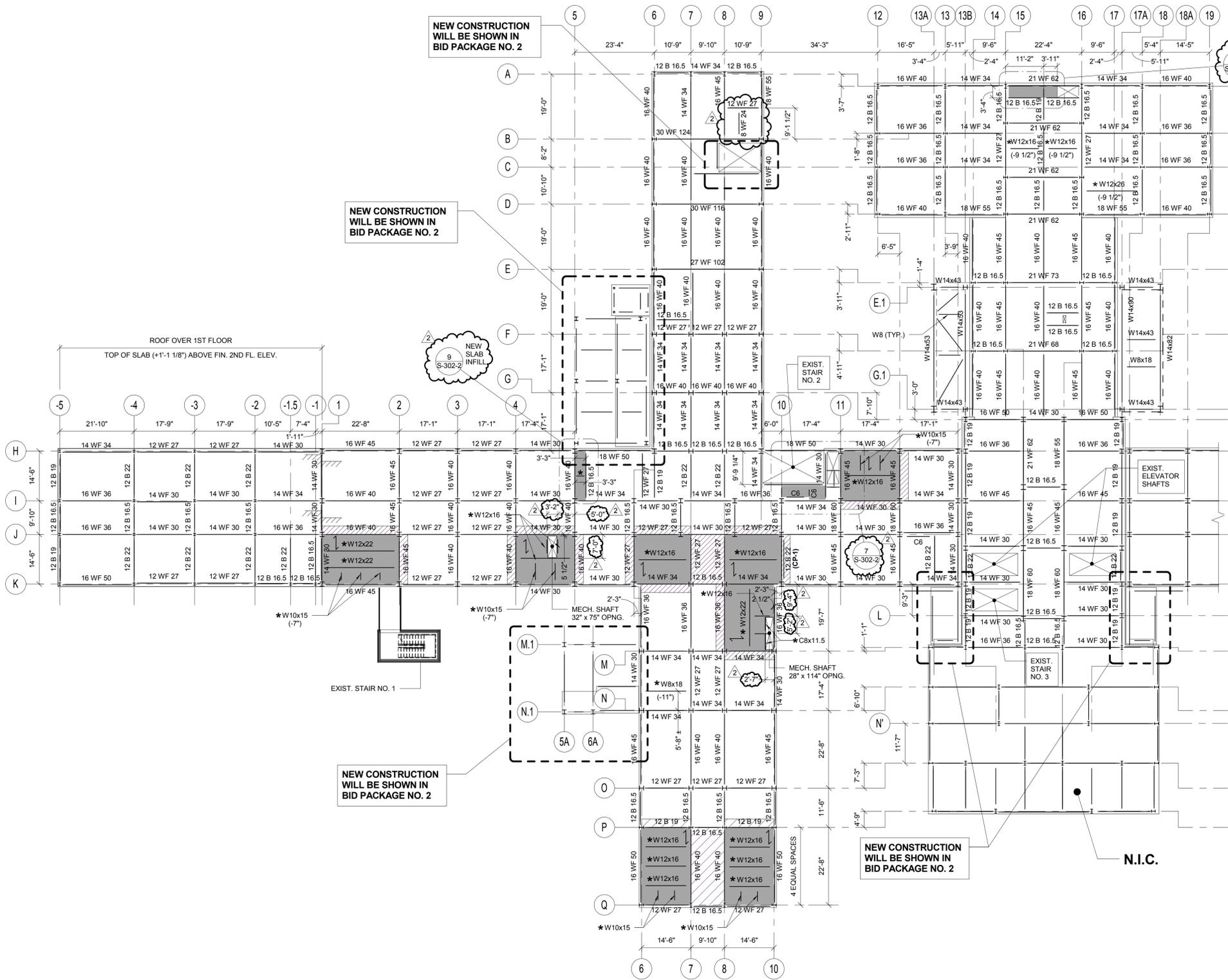
SHEET TITLE:
STRUCTURAL FIRST FLOOR FRAMING PLAN

BUILDING NUMBER:	DRAWING NUMBER:
102	S-101-2
SHEET	

TYPICAL FLOOR LEGEND

-  EXISTING FLOOR CONSTRUCTION TO REMAIN
-  EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
-  AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
-  16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
-  16 WF 36 (-) DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
-  *W12x26 DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS, SEE DETAILS 1 & 4/S-301-2. TOP OF STEEL ELEVATIONS IS 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
-  DENOTES SPAN DIRECTION OF METAL DECK FOR NEW CONCRETE SLAB, SEE DETAIL 1/S-301-2
-  (WT-X) DENOTES NEW WELDED WT REINFORCING MEMBER, SEE DETAIL 1/S-303-2
-  (CP-X) DENOTES NEW WELDED REINFORCING COVER PLATE, SEE DETAIL 1/S-303-2
-  NEW FLOOR OPENING (U.O.N.)

NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.



STRUCTURAL SECOND FLOOR FRAMING PLAN

- NOTES:
1. TOP OF CONCRETE FINISH FLOOR EL. +43.50' (U.O.N.)
 2. NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF6x6 W2.0xW2.0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR 20GA BY USD.
 3. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA, SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.
 4. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS), OR EQUAL SPACING.
 5. TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 6. SYMBOL (-11") INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
 7. ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:



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CONTRACT:
CONSTRUCTION
TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION: BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY 10035
CLIENT: NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM NO. 2	MR
	5-28-2014	BID DOCUMENT	CJL
		FIELD CHECK	ACC/JM
			ACC

PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

SHEET TITLE:
STRUCTURAL SECOND FLOOR FRAMING PLAN

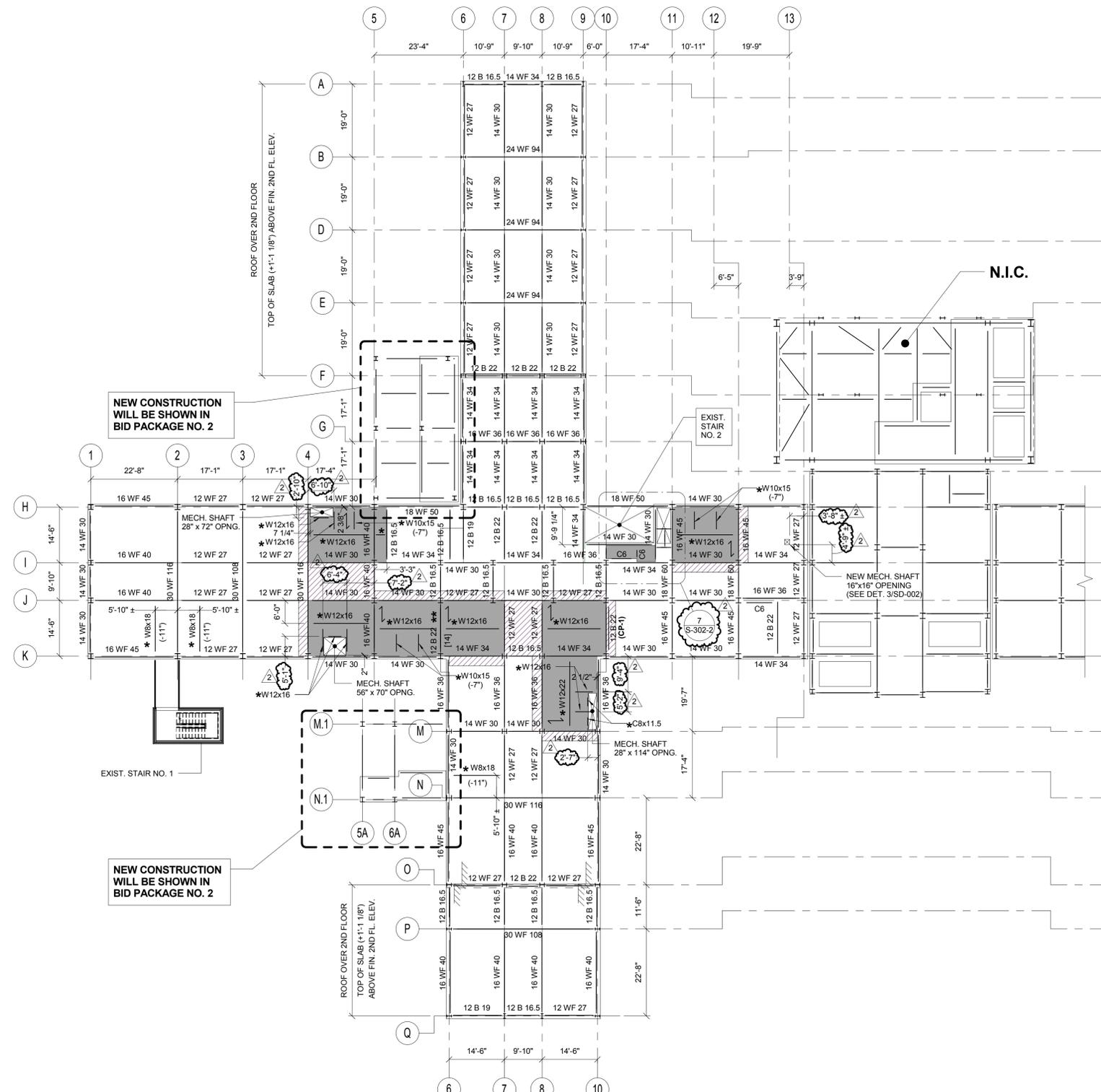
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DRAWING NUMBER: S-102-2

SHEET

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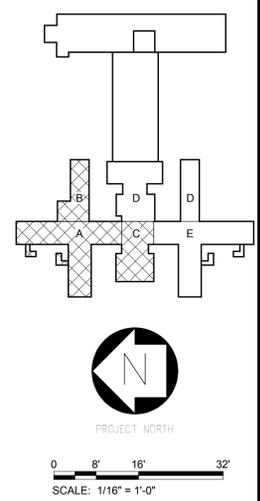
TYPICAL FLOOR LEGEND

-  EXISTING FLOOR CONSTRUCTION TO REMAIN
 -  EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
 -  AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
 -  16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
 -  ** 16 WF 36 [...] DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
 -  * W12x26 * DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS, SEE DETAILS 1 & 4/S-301-2. TOP OF STEEL ELEVATIONS IS 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 -  DENOTES SPAN DIRECTION OF METAL DECK FOR NEW CONCRETE SLAB, SEE DETAIL 1/S-301-2
 -  (WT-X) DENOTES NEW WELDED WT REINFORCING MEMBER, SEE DETAIL 1/S-303-2
 -  (CP-X) DENOTES NEW WELDED REINFORCING COVER PLATE, SEE DETAIL 1/S-303-2
 -  NEW FLOOR OPENING (U.O.N.)
- NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.



STRUCTURAL THIRD FLOOR FRAMING PLAN

- NOTE:
1. TOP OF CONCRETE FINISH FLOOR EL. +55.75' (U.O.N.)
 2. NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE, REINFORCED WITH WWF68 WZ 0XWZ 0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR ZIGZA BY USD.
 3. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.), THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA. SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.
 4. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS), OR EQUAL SPACING.
 5. TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 6. SYMBOL (-11") INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
 7. ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.




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CONTRACT:
CONSTRUCTION

TITLE:
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS

LOCATION:
BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT:
NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
△	6-30-2014	ADDENDUM NO. 2	
	5-28-2014	BID DOCUMENT	

PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

SHEET TITLE:
**STRUCTURAL
THIRD FLOOR
FRAMING PLAN**

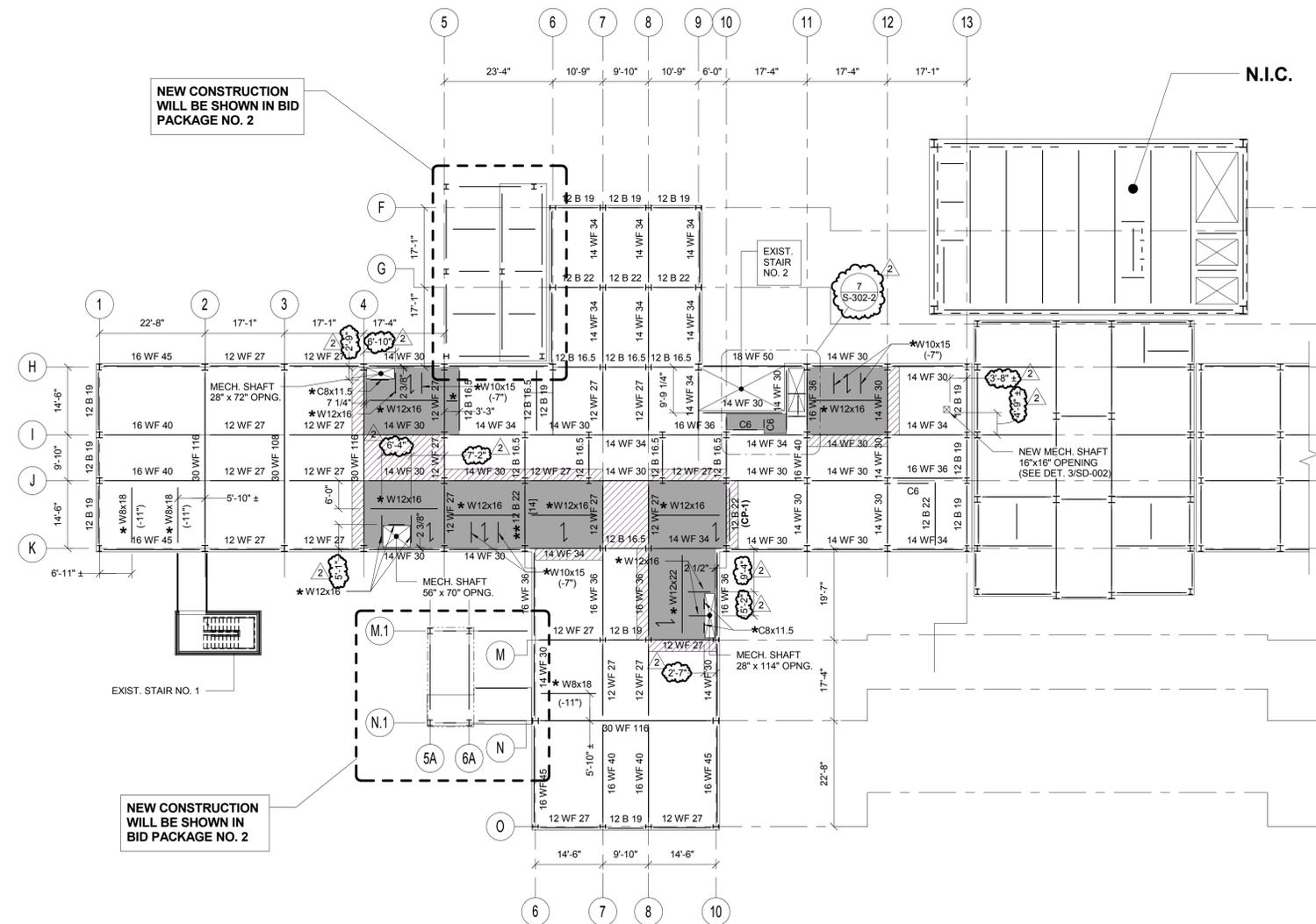
BUILDING NUMBER: 102
DRAWING NUMBER: S-103-2

SHEET

TYPICAL FLOOR LEGEND

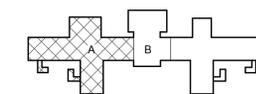
-  EXISTING FLOOR CONSTRUCTION TO REMAIN
-  EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
-  AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
-  DENOTES EXISTING FLOOR BEAM TO REMAIN
-  DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
-  * DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS, SEE DETAILS 1 & 4/S-301-2. TOP OF STEEL ELEVATIONS IS 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
-  DENOTES SPAN DIRECTION OF METAL DECK FOR NEW CONCRETE SLAB, SEE DETAIL 1/S-301-2
-  DENOTES NEW WELDED WT REINFORCING MEMBER, SEE DETAIL 1/S-303-2
-  DENOTES NEW WELDED REINFORCING COVER PLATE, SEE DETAIL 1/S-303-2
-  NEW FLOOR OPENING (U.O.N.)

NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.



STRUCTURAL SIXTH, SEVENTH, AND EIGHTH FLOOR FRAMING PLAN

- NOTES:
1. 6TH FLOOR TOP OF CONCRETE FINISH FLOOR EL. +92.50' (U.O.N.)
 2. 7TH FLOOR TOP OF CONCRETE FINISH FLOOR EL. +104.75' (U.O.N.)
 3. 8TH FLOOR TOP OF CONCRETE FINISH FLOOR EL. +117.00' (U.O.N.)
 4. NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF 6x6 W2 DW/2 O OVER 2" COMPOSITE METAL DECK LOOK FLOOR 20GA BY USD. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA, SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.
 5. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS), OR EQUAL SPACING.
 6. TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 7. SYMBOL (-11") INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
 8. ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.



PROJECT NORTH

0 8' 16' 32'
SCALE: 1/16" = 1'-0"



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Commissioner

CONSULTANTS:



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CONTRACT:

CONSTRUCTION
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

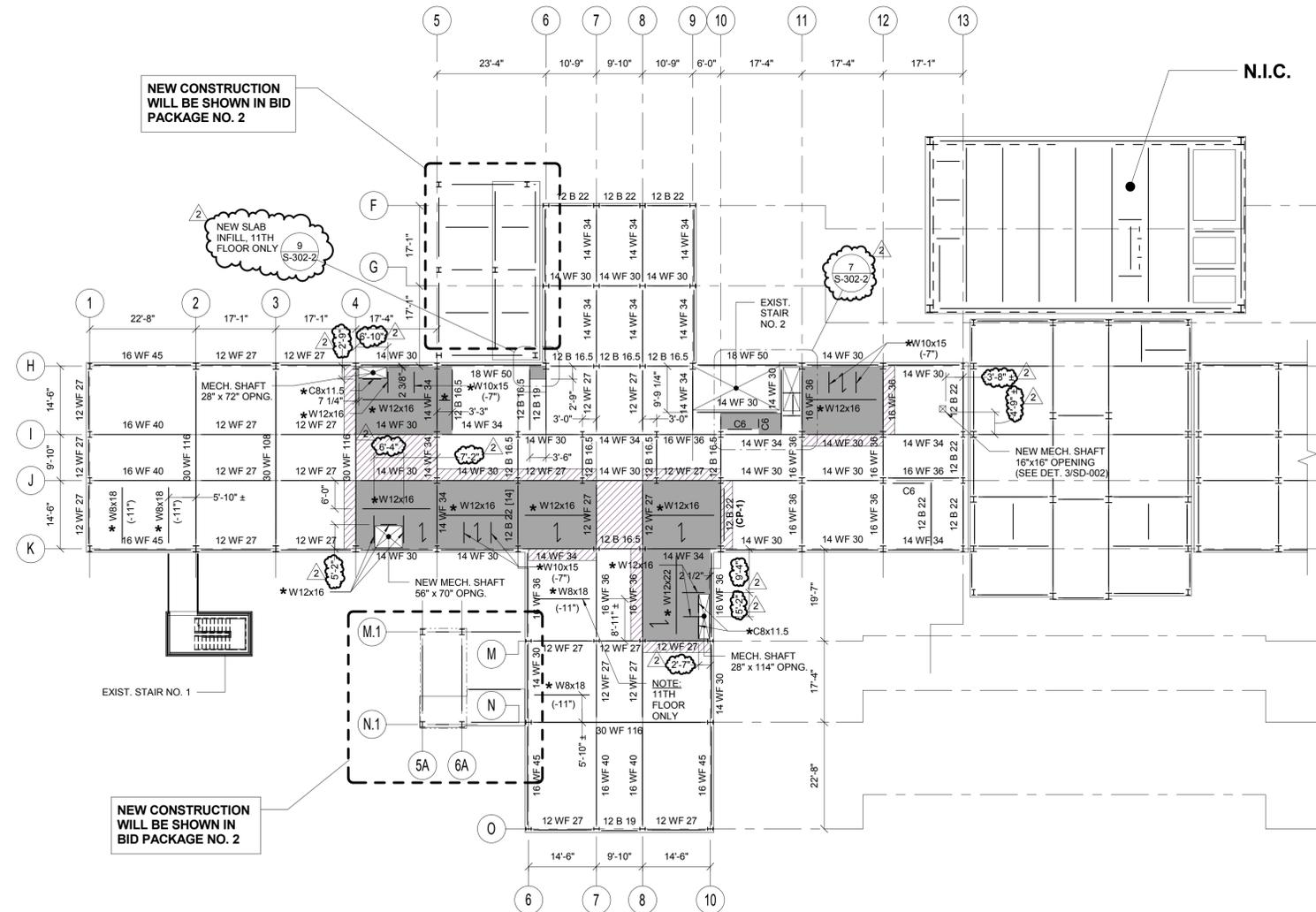
MARK	DATE	DESCRIPTION	PROJECT NUMBER:	44579
	6-30-2014	ADDENDUM NO. 2	DESIGNED BY:	MR
	5-28-2014	BID DOCUMENT	DRAWN BY:	CJL
			FIELD CHECK:	ACC/JM
			APPROVED:	ACC

SHEET TITLE:	
STRUCTURAL SIXTH, SEVENTH, AND EIGHTH FLOOR FRAMING PLAN	
BUILDING NUMBER:	DRAWING NUMBER:
102	S-105-2
SHEET	

TYPICAL FLOOR LEGEND

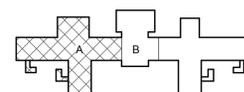
-  EXISTING FLOOR CONSTRUCTION TO REMAIN
-  EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
-  AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
-  16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
-  ** 16 WF 36 [...] DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
-  * W12x26 * DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS. SEE DETAILS 1 & 4/S-301-2. TOP OF STEEL ELEVATIONS IS 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
-  DENOTES SPAN DIRECTION OF METAL DECK FOR NEW CONCRETE SLAB, SEE DETAIL 1/S-301-2
-  (WT-X) DENOTES NEW WELDED WT REINFORCING MEMBER, SEE DETAIL 1/S-303-2
-  (CP-X) DENOTES NEW WELDED REINFORCING COVER PLATE, SEE DETAIL 1/S-303-2
-  NEW FLOOR OPENING (U.O.N.)

NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.



STRUCTURAL NINTH, TENTH AND ELEVENTH FLOOR FRAMING PLAN

- NOTE:
1. 9TH FLOOR TOP OF CONCRETE FINISH FLOOR EL. +129.25' (U.O.N.)
 2. 10TH FLOOR TOP OF CONCRETE FINISH FLOOR EL. +141.50' (U.O.N.)
 3. 11TH FLOOR TOP OF CONCRETE FINISH FLOOR EL. +153.75' (U.O.N.)
 4. NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF6x6 W2.0xW2.0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR 20GA BY USG.
 5. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA. SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.
 6. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS), OR EQUAL SPACING.
 7. TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 8. SYMBOL (-11") INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
 9. ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.



PROJECT NORTH

0 8' 16' 32'
SCALE: 1/16" = 1'-0"

ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:

RBSD | **STV** 100 Years
ARCHITECTS, P.C.

A Joint Venture
225 Park Avenue South
New York, New York 10003

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CONTRACT: CONSTRUCTION

TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS

LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT: NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
△	6-30-2014	ADDENDUM NO. 2	MR
	5-28-2014	BID DOCUMENT	CJL
		FIELD CHECK	ACC/JM
			ACC

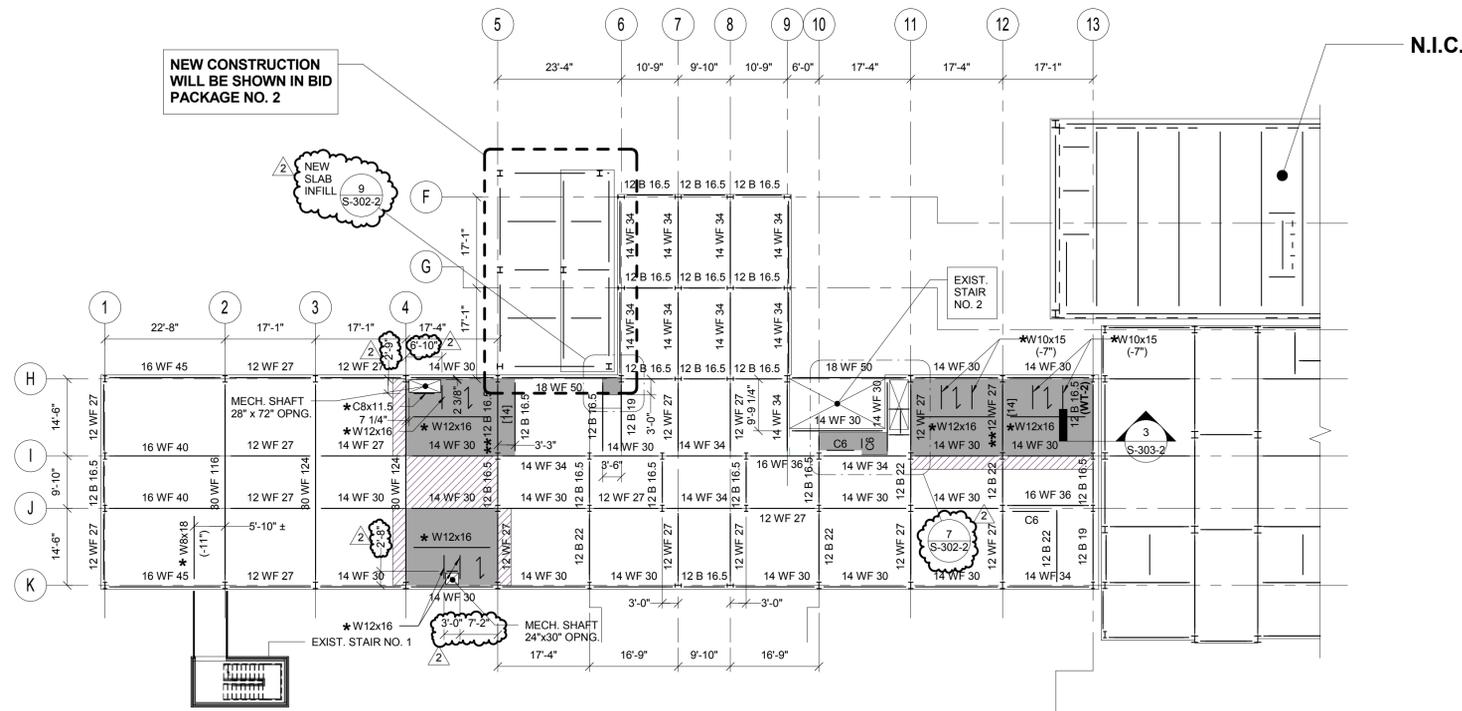
PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

SHEET TITLE:
STRUCTURAL NINTH, TENTH AND ELEVENTH FLOOR FRAMING PLAN

BUILDING NUMBER: 102
DRAWING NUMBER: S-106-2

SHEET

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TYPICAL FLOOR LEGEND

- EXISTING FLOOR CONSTRUCTION TO REMAIN
- EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
- AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
- 16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
- 16 WF 36 [-] DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
- * W12x26 * DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS. SEE DETAILS 1 & 4/S-301-2. TOP OF STEEL ELEVATIONS IS 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
- DENOTES SPAN DIRECTION OF METAL DECK FOR NEW CONCRETE SLAB. SEE DETAIL 1/S-301-2
- (WT-X) DENOTES NEW WELDED WT REINFORCING MEMBER. SEE DETAIL 1/S-303-2
- (CP-X) DENOTES NEW WELDED REINFORCING COVER PLATE. SEE DETAIL 1/S-303-2
- NEW FLOOR OPENING (U.O.N.)

NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.

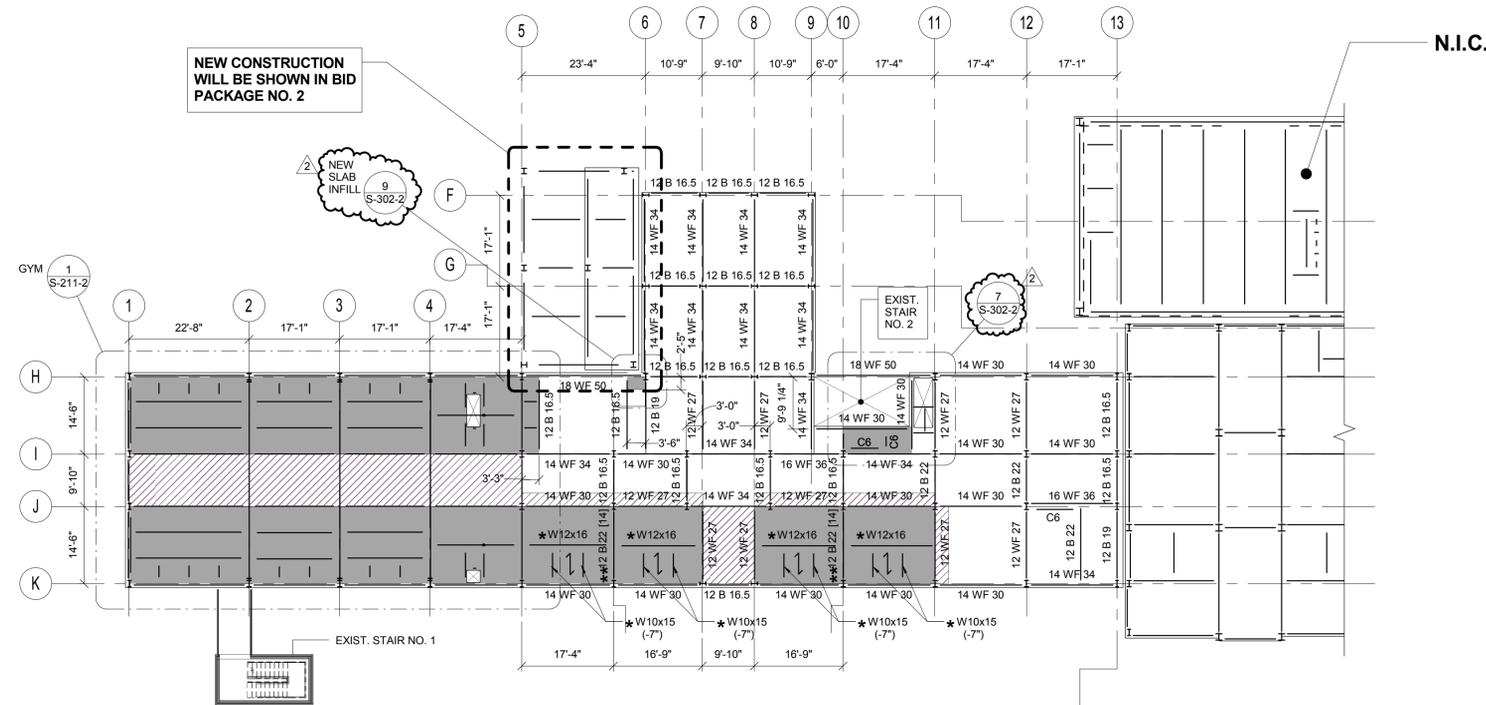
1 STRUCTURAL THIRTEENTH FLOOR FRAMING PLAN

1/16" = 1'-0"

NOTES:

1. TOP OF CONCRETE FINISH FLOOR EL. +178.25'
2. NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF6x6 W2.0xW2.0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR 20GA BY USD.
3. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA, SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.

4. WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS) OR EQUAL SPACING.
5. TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
6. SYMBOL (-11') INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
7. ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.



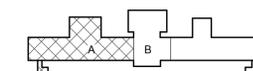
2 STRUCTURAL FOURTEENTH FLOOR FRAMING PLAN

1/16" = 1'-0"

NOTES:

1. TOP OF CONCRETE FINISH FLOOR EL. +190.50'
2. NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF6x6 W2.0xW2.0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR 20GA BY USD.
3. WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA, SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.

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PROJECT NORTH

0 8' 16' 32'

SCALE: 1/16" = 1'-0"



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:



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CONTRACT:

CONSTRUCTION
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035
CLIENT:
NYS OFFICE OF MENTAL HEALTH

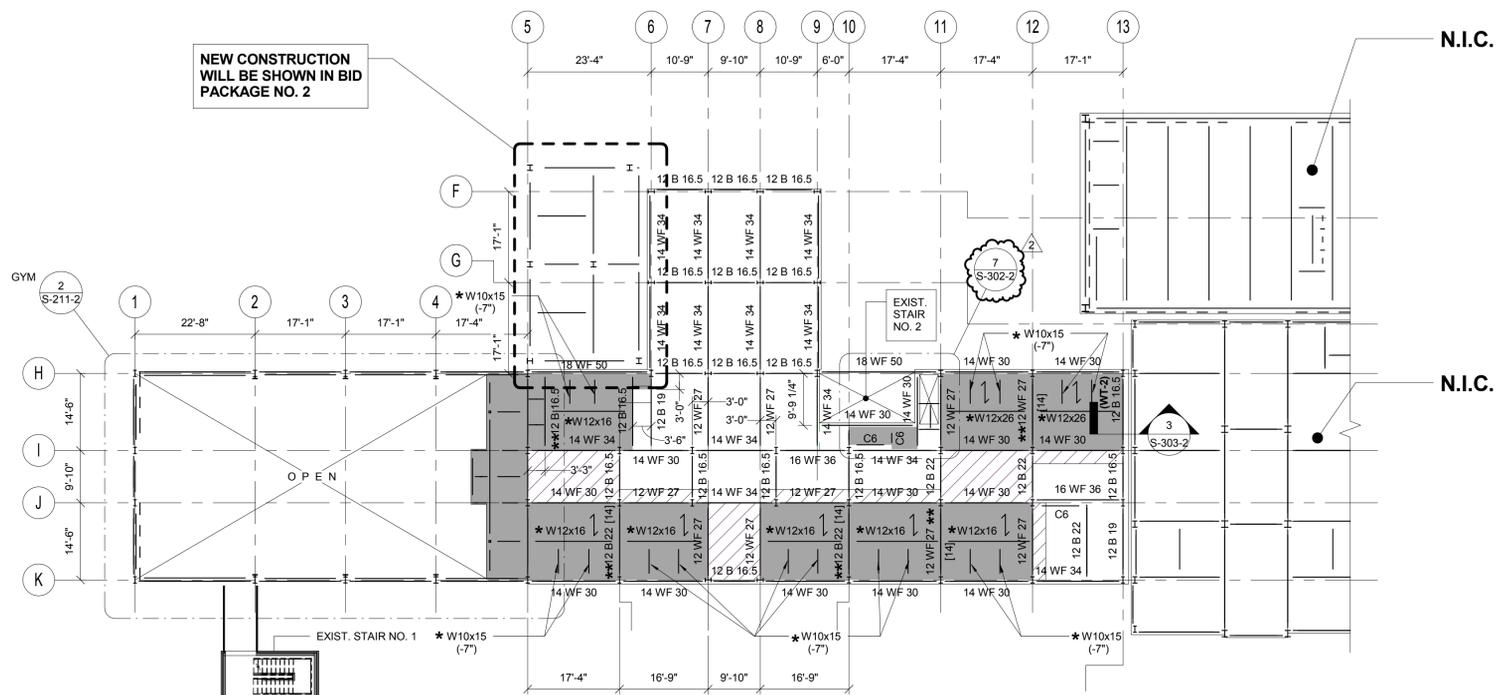
MARK	DATE	DESCRIPTION	APPROVED:
Δ	6-30-2014	ADDENDUM NO. 2	
	5-28-2014	BID DOCUMENT	

SHEET TITLE:

STRUCTURAL THIRTEENTH
AND FOURTEENTH FLOOR
FRAMING PLANS

BUILDING NUMBER: 102
DRAWING NUMBER: S-108-2
PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

7/3/2014 8:17:59 AM



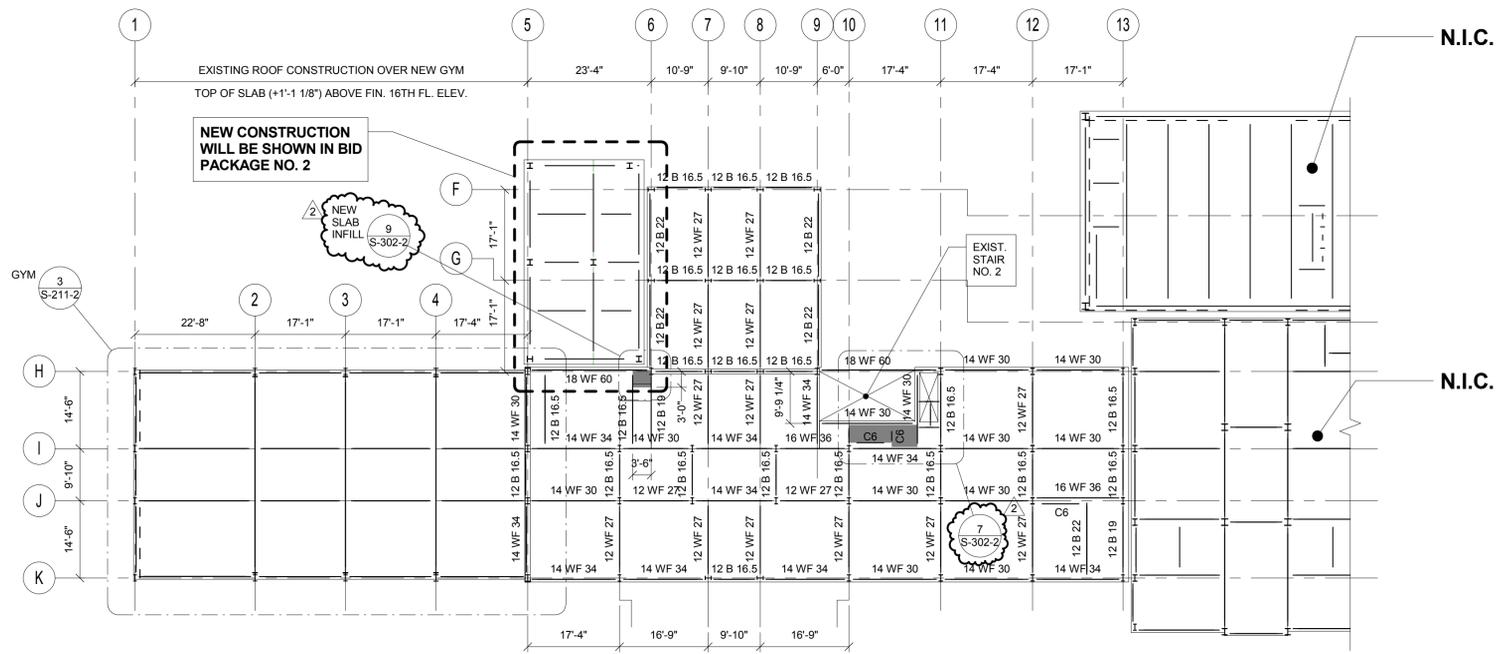
TYPICAL FLOOR LEGEND

- EXISTING FLOOR CONSTRUCTION TO REMAIN
- EXISTING FLOOR SLAB TO BE REPLACED WITH NEW FLOOR CONSTRUCTION (SEE DETAIL 1/S-301-2), U.O.N.
- AREA OF REMOVED CONCRETE FLOOR FILL TO BE INFILLED WITH NEW REINFORCED L.W. CONCRETE (SEE DETAIL 3/S-301-2)
- 16 WF 36 DENOTES EXISTING FLOOR BEAM TO REMAIN
- ** 16 WF 36 [...] DENOTES EXISTING FLOOR BEAM TO REMAIN AND BE REINFORCED WITH WELDED SHEAR STUDS (REFER TO TYPICAL FLOOR RECONSTRUCTION DETAILS)
- * W12x26 * DENOTES NEW FLOOR BEAM UNDER SOLID CONC. SLAB OR CONC. JOISTS, SEE DETAILS 1 & 4/S-301-2, TOP OF STEEL ELEVATIONS IS 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
- DENOTES SPAN DIRECTION OF METAL DECK FOR NEW CONCRETE SLAB, SEE DETAIL 1/S-301-2
- (WT-X) DENOTES NEW WELDED WT REINFORCING MEMBER, SEE DETAIL 1/S-303-2
- (CP-X) DENOTES NEW WELDED REINFORCING COVER PLATE, SEE DETAIL 1/S-303-2
- NEW FLOOR OPENING (U.O.N.)

NOTE: SEE DETAIL 1/S-301-2 FOR SUGGESTED SEQUENCE FOR NEW FLOOR CONSTRUCTION.

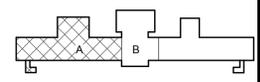
1 STRUCTURAL FIFTEENTH FLOOR FRAMING PLAN
1/16" = 1'-0"

- NOTE:
- TOP OF CONCRETE FINISHED FLOOR EL. +202.75
 - NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF6x6 W2.0xW2.0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR 20GA BY USD.
 - WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA, SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.
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 - TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 - SYMBOL (-11') INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
 - ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.



2 STRUCTURAL SIXTEENTH FLOOR FRAMING PLAN
1/16" = 1'-0"

- NOTES:
- TOP OF CONCRETE FINISH FLOOR EL. +215.00'
 - NEW CONCRETE SLAB CONSTRUCTION IS 4" LIGHTWEIGHT CONCRETE REINFORCED WITH WWF6x6 W2.0xW2.0 OVER 2" COMPOSITE METAL DECK LOCK FLOOR 20GA BY USD.
 - WORK ON THIS FLOOR IS LIMITED TO STRENGTHENING OF EXISTING CONCRETE FLOOR (U.O.N.). THE AREA OF WORK IS SHOWN ON THIS DRAWING AS A HATCHED AREA, SEE SHEET LEGEND. FOR THE FLOOR CONSTRUCTION IN THE AREA OF STRENGTHENING, SEE DETAILS 1, 2, 3, 7/S-301-2.
 - WHEN LOCATION OF NEW BEAM IS NOT SHOWN, PLACE IT IN THE MIDDLE OF A FRAMING BAY (BASED ON CENTERLINE OF COLUMNS) OR EQUAL SPACING
 - TOP OF EXISTING STEEL ELEVATION 6" BELOW FINISH FLOOR ELEVATION, U.O.N.
 - SYMBOL (-11') INDICATES TOP OF NEW STEEL BEAM DISTANCE WITH REFERENCE TO FINISH FLOOR ELEVATION.
 - ALL EXISTING STEEL BEAMS ARE ENCASED IN CONCRETE. FOR NEW BEAM CONNECTION TO EXIST. BEAM, ENCASEMENT SHALL BE REMOVED LOCALLY AND PATCHED AFTER INSTALLATION.



PROJECT NORTH
0 8' 16' 32'
SCALE: 1/16" = 1'-0"

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Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:

RBSD | **STV** 100 Years
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CONTRACT:
CONSTRUCTION

TITLE:
PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL,
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS

LOCATION:
BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY 10035

CLIENT:
NYS OFFICE OF MENTAL HEALTH

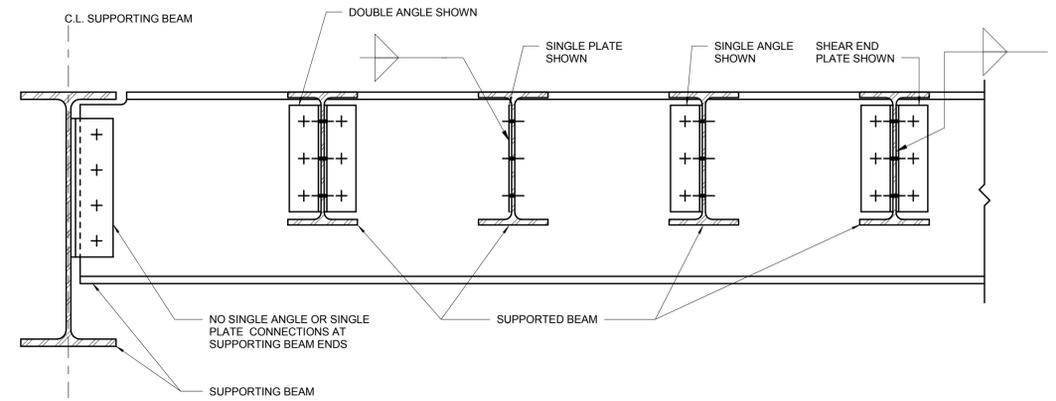
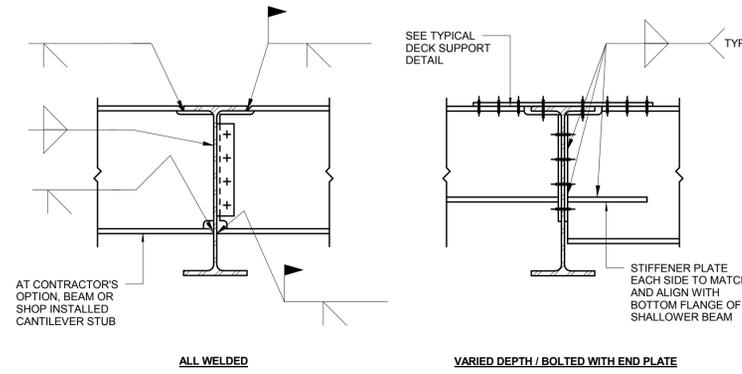
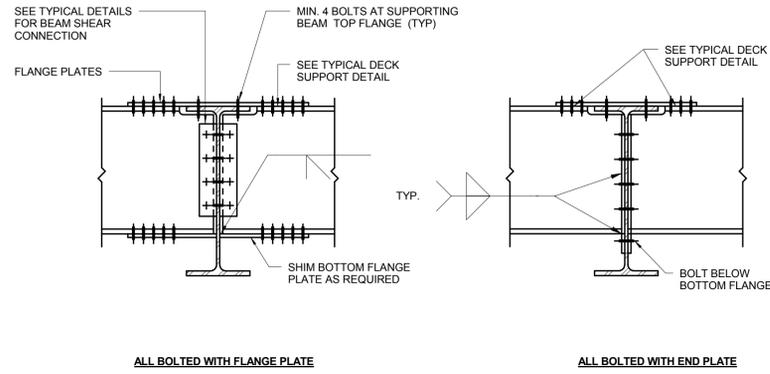
MARK	DATE	DESCRIPTION	APPROVED:
Δ	6-30-2014	ADDENDUM NO. 2	
	5-28-2014	BID DOCUMENT	

PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

SHEET TITLE:
**STRUCTURAL FIFTEENTH
AND SIXTEENTH FLOOR
FRAMING PLANS**

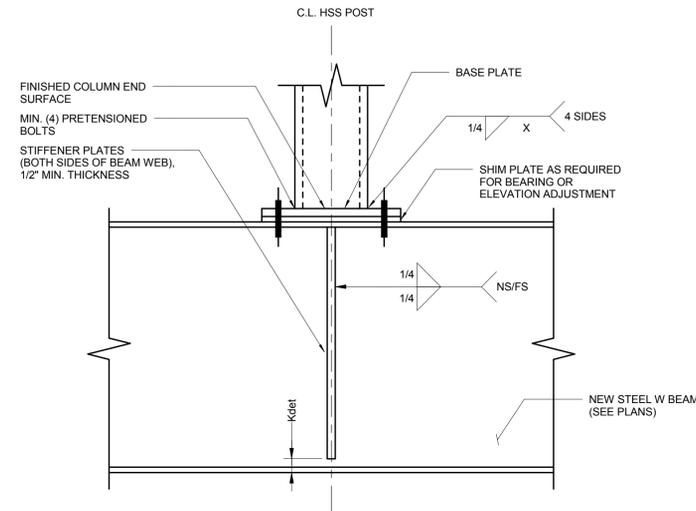
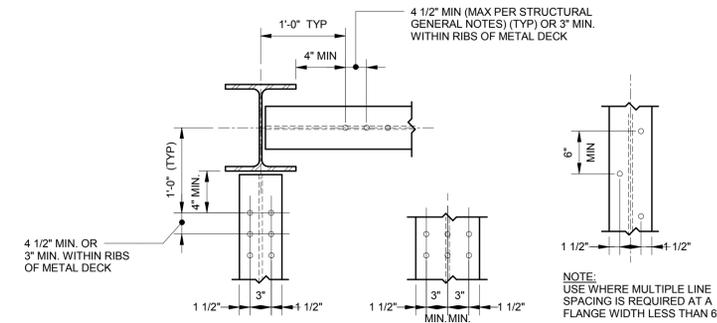
BUILDING NUMBER: 102
DRAWING NUMBER: S-109-2

SHEET

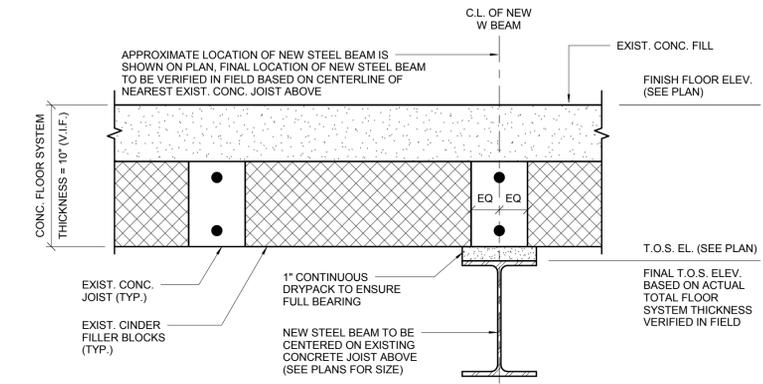


1 TYPICAL BEAM TO BEAM MOMENT CONNECTION
NOT TO SCALE

2 TYPICAL BEAM TO BEAM SHEAR CONNECTION
NOT TO SCALE



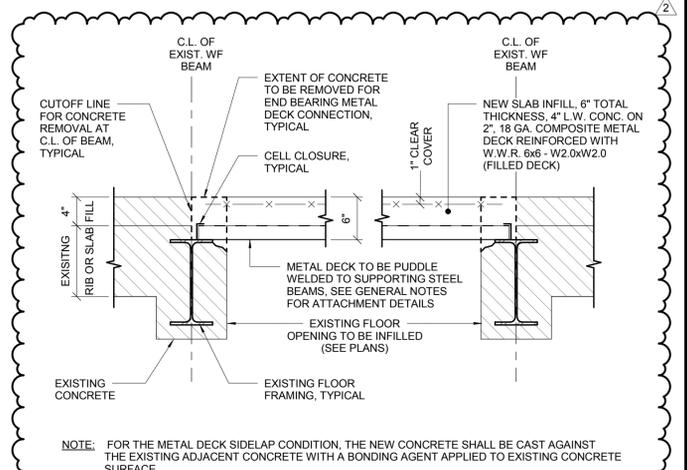
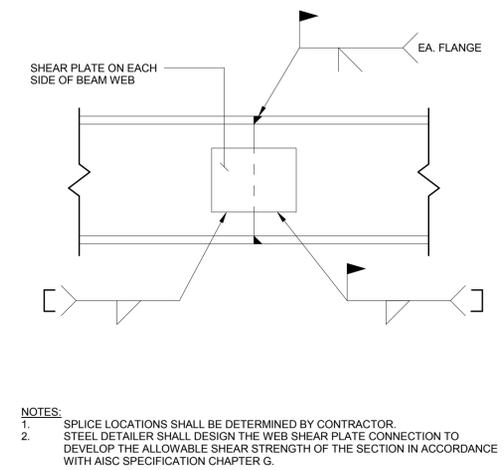
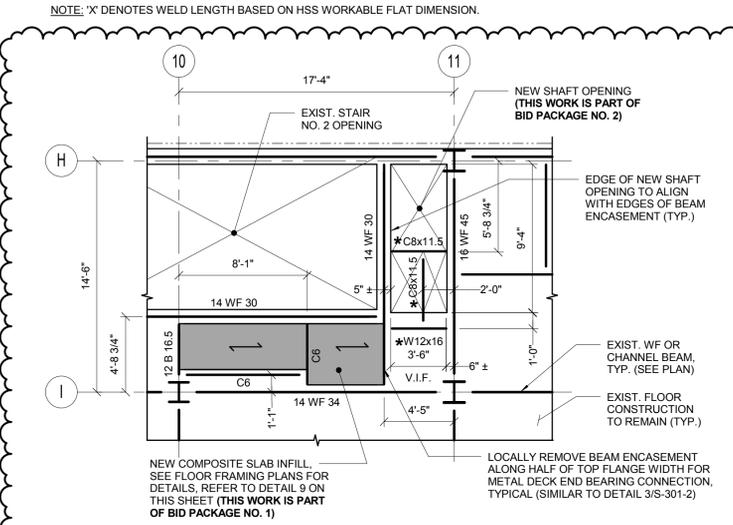
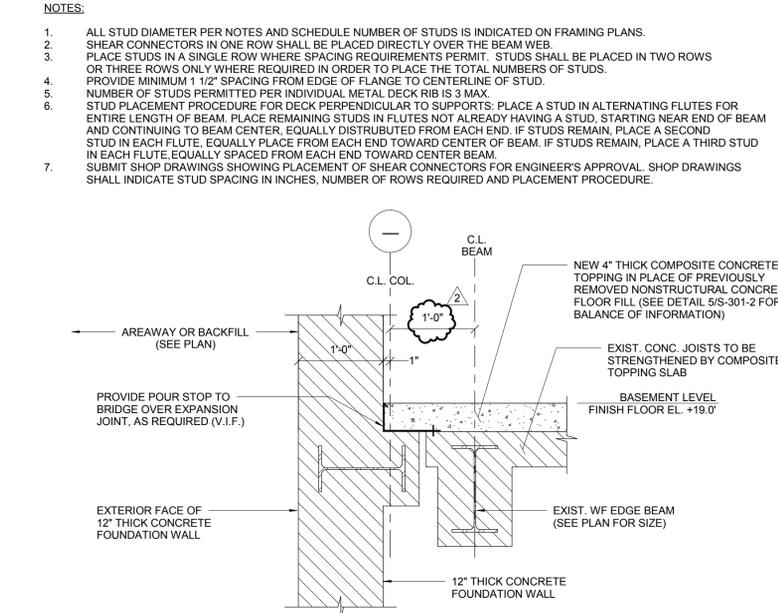
- NOTES:
- SUPPORTED BEAMS PRIMARILY SUPPORT DISTRIBUTED LOADS FROM SLABS OR DECKING.
 - SUPPORTING BEAMS SUPPORT SIGNIFICANT POINT LOADS FROM ONE OR MORE SUPPORTED BEAMS OR COLUMNS BEING TRANSFERRED. SUPPORTING BEAMS MAY BE SUPPORTED BY COLUMNS OR BY OTHER SUPPORTING BEAMS.
 - FOR AISC SIMPLE SHEAR CONNECTIONS AT SUPPORTED BEAM ENDS, DOUBLE ANGLE, SINGLE PLATE, SINGLE ANGLE, OR SHEAR END PLATE MAY BE USED U.O.N.
 - WELDED/BOLTED OR BOLTED/BOLTED CONNECTIONS PER AISC ARE PERMITTED.



3 TYPICAL SHEAR STUD SPACING DETAIL
NOT TO SCALE

4 TYPICAL HSS POST BEARING ON NEW W BEAM
NOT TO SCALE

5 TYPICAL DETAIL FOR NEW STEEL BEAM BELOW EXISTING CONCRETE JOIST
NOT TO SCALE



6 TYPICAL DETAIL FOR NEW COMPOSITE TOPPING AT BASEMENT LEVEL (FOR EXTERIOR WALL CONDITION)
NOT TO SCALE

7 TYPICAL PART PLAN - NEW SHAFT OPENING
3/16" = 1'-0"

8 TYPICAL WIDE FLANGE SPLICE DETAIL
NOT TO SCALE

9 TYPICAL EXISTING FLOOR OPENING INFILL DETAIL
NOT TO SCALE

ANDREW M. CUOMO
Governor
ROANN M. DESTITTO
Commissioner

CONSULTANTS:
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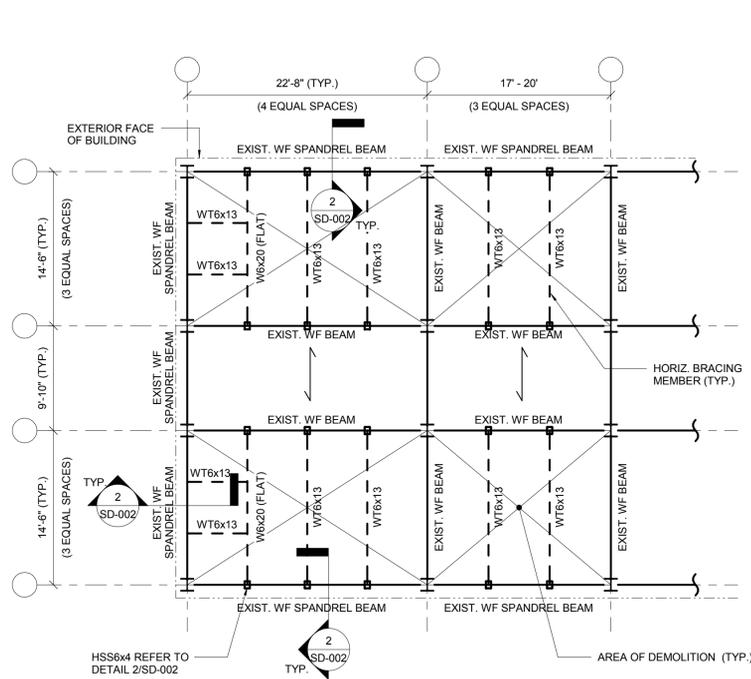
CONTRACT:
CONSTRUCTION
TITLE: PHASE 1 WORK: DEMOLITION, ASBESTOS REMOVAL, STRENGTHEN FLOOR SLABS & REPLACE WINDOWS
LOCATION: BUILDING No. 102 MANHATTAN FORENSIC RELOCATION 600 EAST 125TH STREET WARDS ISLAND, NY 10035
CLIENT: NYS OFFICE OF MENTAL HEALTH

MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM NO. 2	
	5-28-2014	BID DOCUMENT	

PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: ACC/JM
APPROVED: ACC

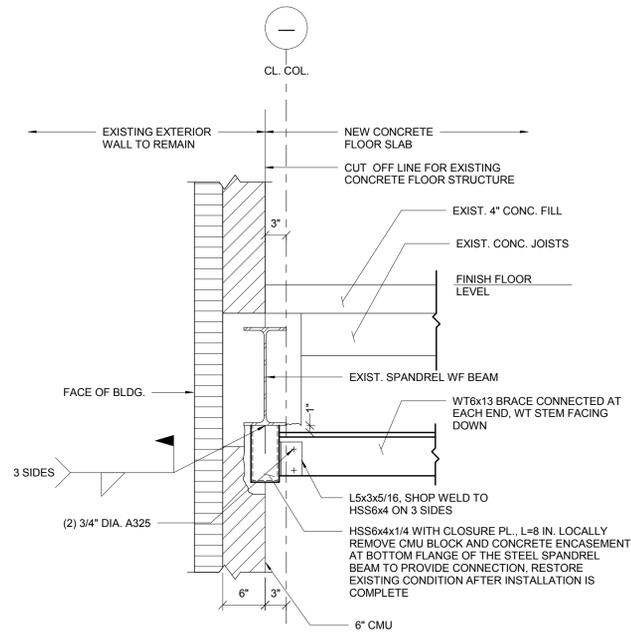
SHEET TITLE:
TYPICAL FLOOR RECONSTRUCTION DETAILS II
BUILDING NUMBER: 102
DRAWING NUMBER: S-302-2
SHEET

7/3/2014 8:18:05 AM



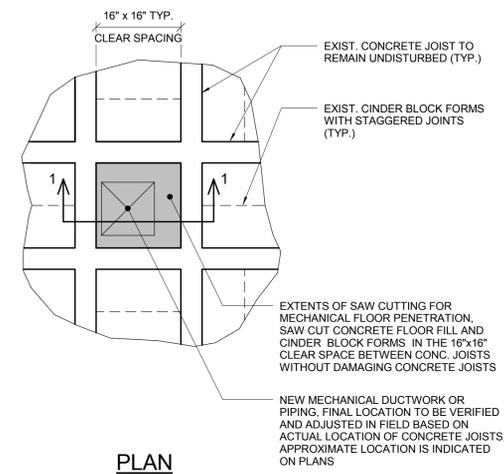
1 SUGGESTED TYPICAL TEMPORARY BRACING OF SPANDREL BEAMS DURING CONSTRUCTION AT DEMOLITION AREAS
NOT TO SCALE

- NOTES:**
1. SYMBOL \leftrightarrow INDICATES ON A PLAN SOLID CONCRETE SLAB CONSTRUCTION TO REMAIN.
 2. SEE STRUCTURAL FLOOR PLANS FOR ACTUAL AREAS OF DEMOLITION.



2 SUGGESTED TYPICAL EXISTING SPANDREL BRACING DETAIL
NOT TO SCALE

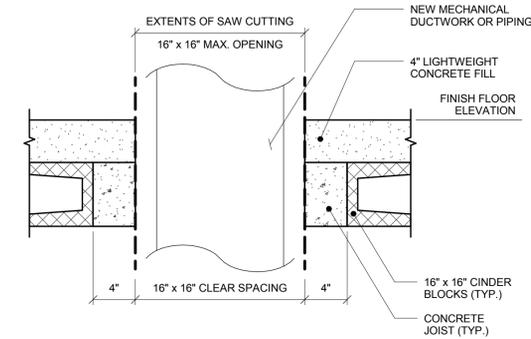
- NOTE:**
1. IF THE SUGGESTED SPANDREL BRACING METHOD IS IMPLEMENTED AS SHOWN ON THIS DETAIL, THE BRACING MEMBERS MUST BE INSTALLED PRIOR TO SLAB DEMOLITION IN THE AREA OF WORK. IF AN ALTERNATE METHOD OF SPANDREL BRACING IS DESIRED BY GC, THE ERECTOR SHALL DETERMINE, FURNISH AND INSTALL ALL TEMPORARY SUPPORTS REQUIRED FOR THE ERECTION OPERATION, AND SUBMIT THEIR DESIGN TO THE EOR FOR REVIEW.



NOTE: CONCRETE FLOOR FILL ABOVE CONCRETE JOISTS AND CINDER BLOCKS IS NOT SHOWN FOR CLARITY.

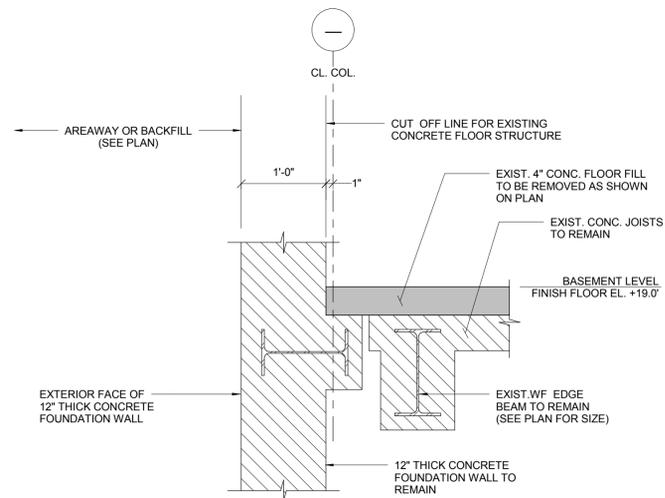
3 TYPICAL DETAIL FOR NEW FLOOR OPENING THRU EXISTING TWO-WAY CONCRETE JOIST FLOOR
NOT TO SCALE

NOTE: THIS WORK IS PART OF BID PACKAGE NO. 2.

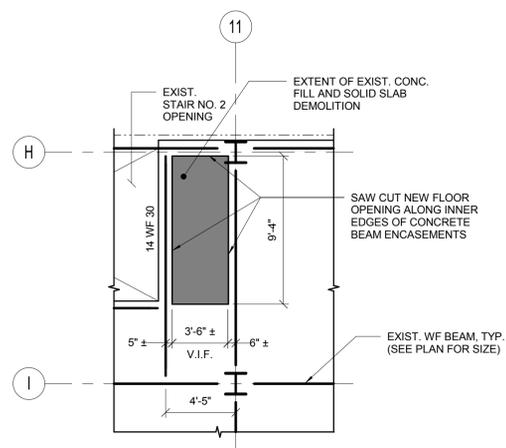


NOTE: COORDINATE FIRESEAL DETAIL WITH ARCHITECTURAL DRAWINGS.

SECTION 1-1



4 TYPICAL DETAIL FOR REMOVAL OF CONCRETE FLOOR FILL AT BASEMENT LEVEL (FOR EXTERIOR WALL CONDITION)
NOT TO SCALE



5 TYPICAL DEMOLITION PART PLAN - NEW SHAFT OPENING
3/16" = 1'-0"

NOTE: THIS WORK IS PART OF BID PACKAGE NO. 2.



ANDREW M. CUOMO
Governor
ROANN M. DESTITO
Commissioner

CONSULTANTS:
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ARCHITECTS, PC
A Joint Venture
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	6-30-2014	ADDENDUM NO. 2	MR
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		FIELD CHECK	MR
			ACC

PROJECT NUMBER: 44579
DESIGNED BY: MR
DRAWN BY: CJL
FIELD CHECK: MR
APPROVED: ACC

SHEET TITLE:	
DEMOLITION NOTES AND DETAILS II	
BUILDING NUMBER:	DRAWING NUMBER:
102	SD-002
SHEET	

- 17 SECURE OPENING WEATHER TIGHT FOR REPLACEMENT IN A FUTURE CONTRACT.
SEE DETAIL 5' ON WJ-801
- 18 REMOVE EXISTING WINDOW
- 19 REMOVE QUARRY TILE FLOOR, CEMENT FILL, LEAD PAN, AND WATERPROOFING.
FILL W/ LIGHT WEIGHT CONCRETE (SEE STRUCTURAL DETAIL)
- 20 NOT USED
- 21 EXIST. DEXOTEX TO REMAIN
PREPARE SURFACE TO RECIEVE NEW FINISH
- 22 REMOVE EXIST. CARPETING

SYMBOLS

ARCHITECTURAL: (NON STRUCTURAL REQUIRED TO RESTORE FLOORS AFTER DEMOLITION OF EXISTING FLOOR FINISHES)

 AREA OF REMOVED CONCRETE TOPPING SLAB TO BE INFILLED WITH LIGHTWEIGHT CONCRETE WITH BONDING AGENT - REINFORCED WITH WWF (6X6 W 2.0 X 2.0 SET 1 INCH BELOW TOP OF SLAB)

 INDICATES EXISTING SPACES TO REMAIN

STRUCTURAL SYMBOLS: (FOR COORDINATION ONLY) - FOR ACTUAL SCOPE & DETAILS, SEE STRUCTURAL DRAWINGS

 EXISTING FLOOR SLAB TO BE REMOVED AND REPLACED WITH NEW FLOOR CONSTRUCTION EXCEPT AT THE BASEMENT SLAB WHICH IS STRENGTHENED FROM ABOVE.
SEE STRUCTURAL DEMOLITION DRAWINGS.

 EXISTING FLOOR OPENING TO BE INFILLED WITH NEW FLOOR CONSTRUCTION.
SEE STRUCTURAL DEMOLITION DRAWINGS.

 EXISTING 4" CONCRETE FILL TO BE REPLACED WITH NEW REINFORCED L.W. CONCRETE, SEE STRUCTURAL DEMOLITION DRAWINGS.

 INDICATES NEW OPENING FOR FUTURE SHAFT UNLESS OTHERWISE NOTED

 EXISTING FLOOR CONSTRUCTION TO REMAIN



CONSULTANTS:



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CONTRACT: CONSTRUCTION
TITLE: PHASE 1 WORK:
DEMOLITION, ASBESTOS REMOVAL
STRENGTHEN FLOOR SLABS & REPLACE
WINDOWS
LOCATION: BUILDING No. 102
MANHATTAN FORENSIC RELOCATION
600 EAST 125TH STREET WARDS ISLAND,
NY10035
CLIENT: NYS OFFICE OF MENTAL HEALTH



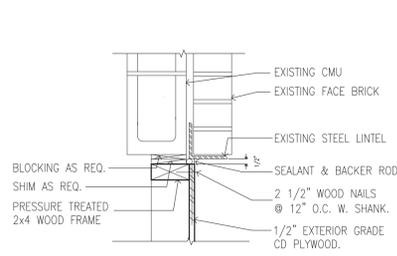
MARK	DATE	DESCRIPTION	APPROVED:
	6-30-2014	ADDENDUM #2	
	5-28-2014	BID DOCUMENT	

PROJECT NUMBER: 44579
DESIGNED BY: MAK / WW
DRAWN BY: LR / LM / WW / JS / JM / DF / YB / YK
FIELD CHECK: LR / MA / DS / JM
APPROVED: WS / MAK / LF

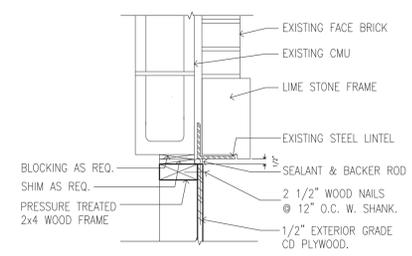
SHEET TITLE:

SK1

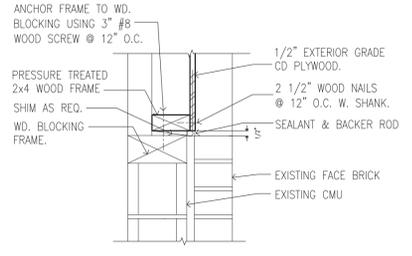
BUILDING NUMBER: 102
DRAWING NUMBER: ALL AD PLANS
SHEET



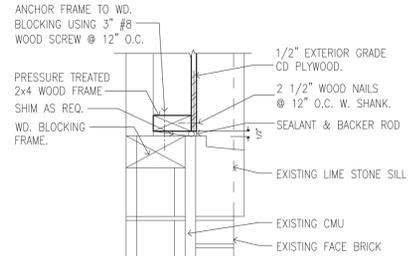
1 WINDOW HEAD
SCALE: 1 1/2"=1'-0"



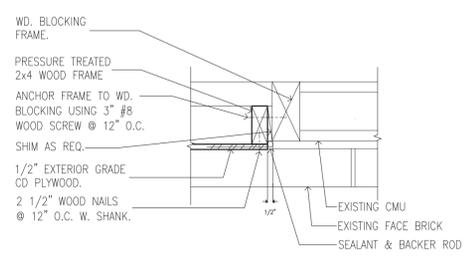
1A WINDOW HEAD
SCALE: 1 1/2"=1'-0"



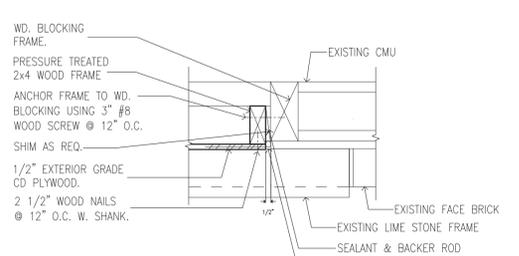
2 WINDOW SILL
SCALE: 1 1/2"=1'-0"



2A WINDOW SILL
SCALE: 1 1/2"=1'-0"

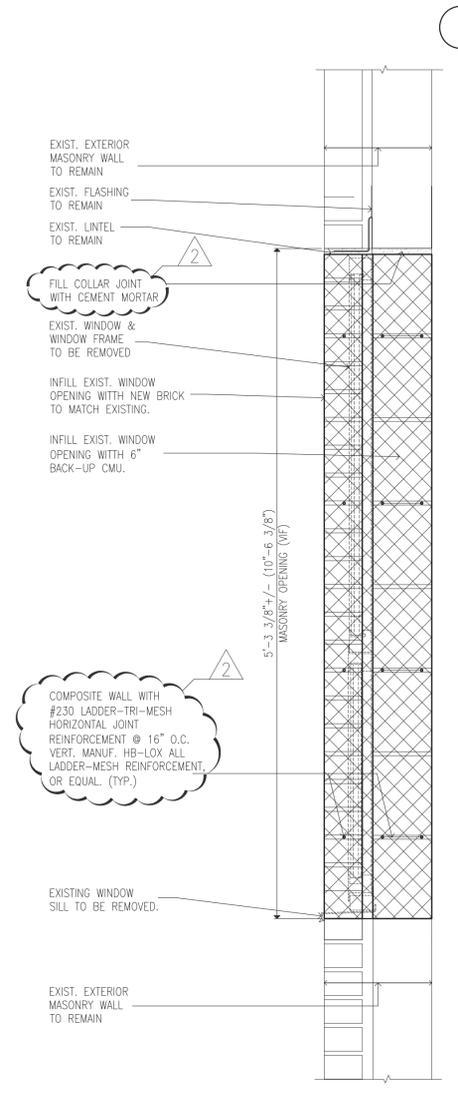


3 WINDOW JAMB
SCALE: 1 1/2"=1'-0"

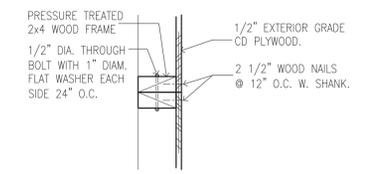


3A WINDOW JAMB
SCALE: 1 1/2"=1'-0"

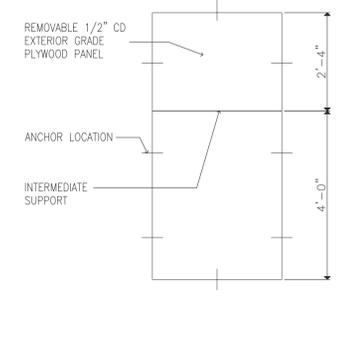
NOTE:
DESIGN FOR PROTECTION DETAILS TO BE BY
NEW YORK STATE PROFESSIONAL ENGINEER.



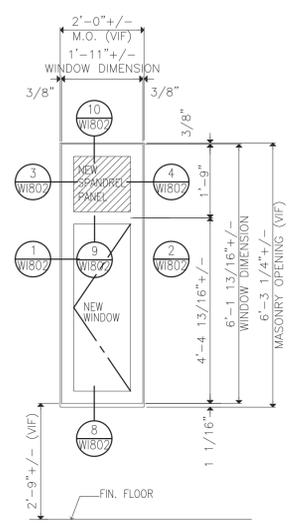
7 SECTION THRU MASONRY OPENING INFILL
SCALE: 1 1/2"=1'-0"



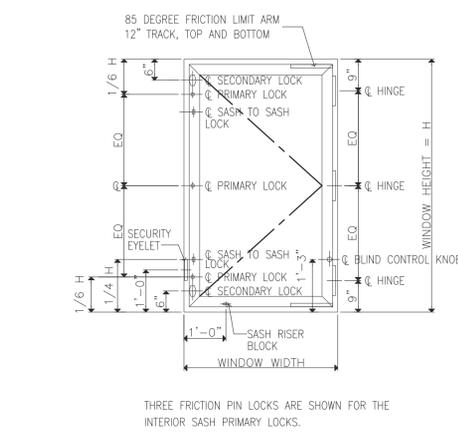
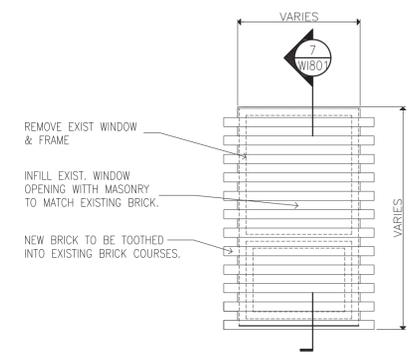
4 VERTICAL PANEL JOINT
SCALE: 1 1/2"=1'-0"



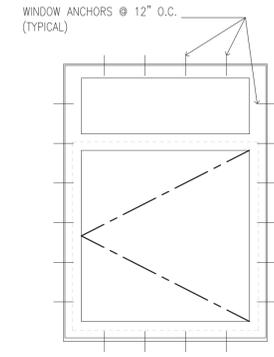
5 TYPICAL TEMPORARY WEATHER TIGHT PANELS
SCALE: 1/2"=1'-0"



6 ELEVATION @ MASONRY OPENING INFILL
SCALE: 1/2"=1'-0"



9 WINDOW HARDWARE LAYOUT (FOR REFERENCE)
SCALE: N.T.S.



10 TYP. ELEVATION OF WINDOW ANCHORS
SCALE: N.T.S.



CONSULTANTS:
RBSD ARCHITECTS P.C. | **STV 100 Years**
A Joint Venture
225 Park Avenue South
New York, New York 10003

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△	06/30/2014	ADDENDUM # 2
	5-28-2014	BID DOCUMENT

PROJECT NUMBER:	44579
DESIGNED BY:	MAK / WW
DRAWN BY:	JS
FIELD CHECK:	LR / MA / DS / JM
APPROVED:	WS / MAK / LF

SHEET TITLE:
**WINDOW TYPES,
OPENING PROTECTION
DETAILS AND MASONRY
INFILL DETAILS**
BUILDING NUMBER:
102
DRAWING NUMBER:
WI-801
SHEET 89 of 179