



STATE OF NEW YORK
OFFICE OF GENERAL SERVICES
DESIGN AND CONSTRUCTION GROUP
THE GOVERNOR NELSON A. ROCKEFELLER
EMPIRE STATE PLAZA
ALBANY, NY 12242



ADDENDUM NO. 4 TO PROJECT NO. Q0763-C

**ASBESTOS REMOVAL, DEMOLITION
AND REPLACE WINDOWS
DUNLAP BUILDING NO. 102, A-SIDE
MANHATTAN PSYCHIATRIC CENTER
600 E. 125th STREET
WARDS ISLAND, NEW YORK**

January 02, 2013

NOTE: This Addendum forms a part of the Contract Documents. Insert it in the Project Manual. Acknowledge receipt of this Addendum in the space provided on the Bid Form.

INTRODUCTORY INFORMATION

1. Document 000115 List Of Drawings: Discard the Document bound in the Project Manual and insert in its place the attached Document (page 000115 - 1) noted "Revised 11/30/2012".

CONTRACTING REQUIREMENTS

2. Document 007305 Supplementary Conditions – Liquidated Damages: Discard the Document bound in the Project Manual and insert in its place the attached Document (page 007305 - 1) noted "Revised 12/17/2012".

SPECIFICATIONS

3. Section 012300 Alternates: Discard the Section bound in the Project Manual and insert in its place the attached Section (page 012300 - 1) noted "Revised 12/26/2012".

APPENDIX

4. Petition for an Asbestos Variance: Discard the Appendix Section attached to Addendum No. 2 and insert in its place the attached "Site Specific Variance File No. 12-1328 Decision (ACM), dated November 27, 2012" (twenty-four (24) pages).

DRAWINGS

5. Drawing No. G-001: Add the following twelve (12) Reference Drawings to the Index of Drawings: 53/127, 53/2003, 53/2004, 53/2005, 53/2006, 53/2007, 53/2008, 53/2009, 53/2012, 53/2013, 53/2032, 53/2033.
6. Drawing No. A-002: Delete Note G8 and replace with the following:

“G8.

- A. Existing sprinkler system, all work to be performed in accordance with NFPA 13, 2007 Edition:
- 1) First (1st) Floor, Prior to and During Demolition: All sprinkler components shall remain. Contractor shall adequately protect all components including but not limited to piping, sprinklers, supports, etc. Support all sprinkler mains and branch piping from the underside of the deck. Where ceilings are being removed, extend piping so heads are within 12-inches of the deck.
 - 2) First (1st) Floor, after demolition: Support all sprinkler mains and branch piping from the underside of the deck. Extend piping so heads are within 12-inches of the deck.
 - 3) Second (2nd) floor thru Tenth (10th) floors: Remove all sprinkler mains and piping including supports back to connection after the piping enters the Ward and cap. Provide additional hangers on remaining pipe section if required for proper support.
 - 4) Eleventh (11th) floor thru Sixteenth (16th) floors: Do not disturb any of the existing sprinkler system components.
- B. Existing Fire Alarm System Components: All work to be performed in accordance with NFPA 72, 2007 Edition:
- 1) First (1st) Floor: Do not disturb any of the existing fire alarm system components. If components must be removed or protected during demolition, contractor shall bear all cost required to return to proper operation and installation per NFPA 72, including reinstallation and reacceptance testing.
 - 2) Second (2nd) Floor thru Tenth (10th) Floors and Basement Floor where applicable only: Prior to Demolition the following devices shall remain:
 - a) The manual station located on the Stair 2 enclosure wall shall remain. Reconfigure the circuit in a manner that it will be properly supported and protected from the demolition. Remove all institutional covers. Refer also to Detail 7/A-503.
 - b) A single speaker/strobe (newer model) is currently installed on the adjacent wall. Relocate to the Stair enclosure wall. Extend the circuit in a manner that it will be properly supported and protected from the demolition. Refer also to Detail 7/A-503.
 - 3) Second (2nd) Floor thru Tenth (10th) Floors and Basement Floor where applicable only: During Demolition: Remove all fire alarm components, with the exception of components required to remain, including but not limited to all initiating devices, notification appliances, circuits and raceways. Properly store and protect all initiating devices for reinstallation. Refer also to Detail 7/A-503.
 - 4) Second (2nd) Floor thru Tenth (10th) Floors and Basement Floor where applicable only, after Demolition:
 - a) Reinstall all smoke detectors and heat detectors to the underside of the deck. Install per NFPA 72, including spacing requirements for smoke and heat detectors, where possible. Refer also to Detail 7/A-503.
 - b) Reinstall all manual stations within 5 feet of exit doors. Install per NFPA 72 and the Fire Code of NYS, §907.4. Remove all institutional covers. Refer also to Detail 7/A-503.
 - 5) Eleventh (11th) floor thru Sixteenth (16th) floors: Do not disturb any of the existing fire alarm system components.”
7. Drawing Nos. A-101, A-102, A-103, A-104, A-105, A-106, A-107, A-108, A-109, A-110, A-111, A-112, A-113, A-114, A-115, A-116, and A-117 – ALL drawings “REVISED DRAWING 12/26/2012” that accompany this Addendum: Add the following General Notes to ALL the aforementioned drawings:

“GN-4. Plumbing: The contractor is advised that none of the existing valves on plumbing mains, risers or floor branches are in operable condition. Prior to the start of demolition, the contractor shall provide sectionalizing valves on the sub-basement water mains to isolate the entire “A” side from the Center and “B” sides. Valves will be required on the following plumbing mains: 3” High HW, 1½” High Circ, 4”

Mid CW, 3" Mid HW, 1½" Mid Circ, 4" Low CW, 3" Low HW, 1½" Low Circ and 1" Gas (not used) before the first riser take-offs. This work will require a full building shut down, must be coordinated with the facility and will be required to be performed on off- hours (between 7:30pm and 7:00am). After the main valves are installed and the "A" side has been isolated, the contractor will be required to provide additional isolation valves as necessary for the purposes of re-activating any water risers that will be needed to supply temporary water for construction and temporary toilet use."

- "GN-5. Plumbing: All storm drainage piping including lines indicated on plumbing reference drawings as 'Conductor' are active and shall remain in place."
- "GN-6. Plumbing - Fire Service: Reference drawings indicate a 6" Fire Service main in the sub-basement with a 4" Fire Riser up to the first floor near Stair #18 and a 6" Fire riser up (to 16th floor) at Stair #2. These lines will remain active."
- "GN-7. Electrical: All Panels designated as LP on the drawings and their associated risers are to remain and shall be protected and shall be re-supported if surrounding walls are being demolished."
- "GN-8. Electrical: The contractor is advised that permanent circuits serving the Center section (NIC) are fed from panels within the demolition zone. The contractor will, prior to electrical demolition, be responsible to: a) properly identify all circuits which are outside the work area and are being fed from existing LP Panels inside the work area; b) keep these circuits energized without interruption at all times during construction."

- 8. Revised Drawings:
 - a. Drawing Numbers A-101, A-102, A-103, A-104, A-105, A-106, A-107, A-108, A-109, A-110, A-111, A-112, A-113, A-114, A-115, A-116, A-117, A-501, A-502, A-510, A-511, A-512, A-513, A-514 and A-515, noted "REVISED DRAWING 12/26/2012" accompany this Addendum and supersede the same numbered originally issued drawings.
- 9. Addendum Drawing:
 - a. Drawing Number A-503 is attached to this Addendum and forms part of the Contract Documents.
- 10. Reference Drawings: The following twelve (12) Reference Drawings are attached to this Addendum: 53/127, 53/2003, 53/2004, 53/2005, 53/2006, 53/2007, 53/2008, 53/2009, 53/2012, 53/2013, 53/2032, 53/2033.

END OF ADDENDUM

James Dirolf, P.E.
Director of Design

“Revised 11/30/2012”

LIST OF DRAWINGS

1.01 DRAWINGS

- A. The Contract Drawings, which accompany this Project Manual and form a part of the Contract Documents, are listed on the Title Sheet of the Drawings.
- B. **REFERENCE DRAWINGS:** The Reference Drawings that are included were prepared for other projects and are furnished only to show related conditions. Examine the Reference Drawings to ascertain the relationship of the Work to the indicated conditions.

END OF LIST

DWM

DOCUMENT 007305

SUPPLEMENTARY CONDITIONS - LIQUIDATED DAMAGES

This supplement modifies the General Conditions. Where any part of the General Conditions is modified by this supplement, the unaltered provisions of that part shall remain in effect.

ARTICLE 2 - DEFINITIONS

2.11 Delete this Paragraph in its entirety, substitute the following:

2.11 The term “liquidated damages” means the amount of money to be assessed against the Contractor for delay in completion of the Work.

ARTICLE 13 - TIME OF COMPLETION AND TERMINATION FOR CAUSE

13.3 Delete this Paragraph in its entirety and replace with the following:

13.3 Liquidated Damages: Should Contractor fail to substantially complete the Work within the time frame set forth in the contract, or as described in a subsequent Order(s) on Contract, the Group Director may assess Liquidated Damages for such failure in the amount of \$1,000.00 per day until such time as the Group Director determines that the Work is substantially complete as defined in Section 2.21 herein. Should Contractor fail to achieve physical completion of the work within the time frame set forth in the contract, the Group Director may assess Liquidated Damages for such failure in the amount of \$500.00 per day until such time as the Group Director determines that the Work is physically complete as defined in Section 2.12 herein. Notwithstanding the provisions of Article 21 herein, Contractor agrees that the Group Director may withhold the sum of the Liquidated Damages from payments to be made to Contractor as compensation to the State for administrative fees and public inconvenience.

13.3.1 Delete this Paragraph in its entirety and replace with.

13.3.1 Contract Award Submittals: The Contractor agrees that upon failure to submit Contract Award Submittals as specified in Section 011000, the Contractor shall pay to the State an Administrative surcharge in the amount of \$75.00 per day for each day of delay, until all Contract Award Submittals are received. Notwithstanding the provisions of Article 21 herein, Contractor agrees that the Group Director may withhold the sum of the Administrative surcharge from payments to be made to Contractor as compensation for the State’s administrative fees in pursuing such submittals.

13.3 Add the following Paragraphs:

13.3.3 Milestone Dates: Should Contractor fail to complete the Work for each Milestone Date identified in Section 013113, within the time frame approved by the Director’s Representative, the Group Director may assess Liquidated Damages for such failure in the amount of \$1,000.00 per day until such time as the Group Director determines that the Work is substantially complete as defined in Section 2.21 herein.

END OF DOCUMENT

SECTION 012300

ALTERNATES

PART 1 GENERAL

1.01 DESCRIPTION

- A. This Section describes the changes to be made under each alternate.
- B. Coordinate pertinent related Work and modify surrounding Work as required to complete the project under each alternate selected by the Director.
- C. Include in the Base Bid the cost of all Work required by the Contract Documents except the additional cost (if any) of the alternates described below.

1.02 DESCRIPTION OF ALTERNATES

- A. **Alternate No. 1:** At Existing Exterior Walls, as indicated on the Construction Drawings: Remove ALL Existing Asbestos Containing (ACM) Pipe / Pipe Fitting Insulation inside the Existing Exterior Wall Assembly, for the full-height of the existing wall construction – top of finish floor to top of finish floor as required. Contractor will provide Demolition of Existing Walls / Existing Ceilings as required to access ACM on the Existing Pipes / Pipe Fittings.
 - 1. Provide re-insulation of all piping and fittings where ACM insulation is removed.
 - 2. No repairs of existing walls and/or ceilings will be required where same are removed to access ACM, except as otherwise noted in the construction documents (occupied spaces, public areas, etc.).
 - 3. Provide fire-stopping at ALL existing heating (steam and condensate) piping risers at their penetration through existing floor assemblies. Fire-stop assemblies shall be for a 2 hour fire rated floor and shall be designed/rated for the temperature(s) of the existing heating (steam and condensate) piping risers.

PART 2 PRODUCTS (Not Used)

PART 3 EXECUTION (Not Used)

END OF SECTION

DWM



New York State Department of Labor
Andrew M. Cuomo, *Governor*
Peter M. Rivera, *Commissioner*

November 27, 2012

Warren Panzer Engineers
565 Washington Ave
Albany, NY 12206

RE: File No. 12-1328

Dear Sir/Madam:

**STATE OF NEW YORK
DEPARTMENT OF LABOR
DIVISION OF SAFETY AND HEALTH**

The attached is a copy of Decision, dated, 11/26/2012, which I have compared with the original filed in this office and which I DO HEREBY CERTIFY to be a correct transcript of the text of the said original.

If you are aggrieved by this decision you may appeal within 60 days from its issuance to the Industrial Board of Appeals as provided by Section 101 of the Labor Law. Your appeal should be addressed to the Industrial Board of Appeals, Empire State Plaza, Agency Building 2, 20th Floor, Albany, New York, 12223 as prescribed by its Rules and Procedure, a copy of which may be obtained upon request.

WITNESS my hand and the seal of the
NYS Department of Labor, at the City of
Albany, on this day of 11/26/2012.

A handwritten signature in black ink, appearing to read "Edward A. Smith".

Edward A. Smith, P.E.
Senior Safety and Health Engineer
Engineering Services Unit

JM

STATE OF NEW YORK
DEPARTMENT OF LABOR
STATE OFFICE BUILDING CAMPUS
ALBANY, NEW YORK 12240-0100

Variance Petition

of

Warren Panzer Engineers, P.C.
Petitioner's Agent

On Behalf Of

NYSOGS
Petitioner

in re

Premises: Partially Vacant 16-Story Building
Manhattan Psychiatric Center
600 East 125th Street
Wards Island , NY 10035

**Interior Intact Window Removal or Manual
Window Caulk/Glazing Removal**

File No. 12-1328

DECISION

Case 1-3

ICR 56

The Petitioner, pursuant to Section 30 of the Labor Law, having filed Petition No. 12-1328 on November 19, 2012 with the Commissioner of Labor for a variance from the provisions of Industrial Code Rule 56 as hereinafter cited on the grounds that there are practical difficulties or unnecessary hardship in carrying out the provisions of said Rule; and the Commissioner of Labor having reviewed the submission of the petitioner dated November 16, 2012; and

Upon considering the merits of the alleged practical difficulties or unnecessary hardship and upon the record herein, the Commissioner of Labor does hereby take the following actions:

Case No. 1
Case No. 2
Case No. 3

ICR 56-7.5(d,f)
ICR 56-7.11(a,b,e)
ICR 56-9.2(d)

VARIANCE GRANTED. The Petitioner's proposal to remove of multiple windows with ACM caulking and glazing materials, at the subject premises in accordance with the attached 19-page stamped copy of the Petitioner's submittal, is accepted; subject to the Conditions noted below:

THE CONDITIONS

1. A full time independent project monitor shall be on-site to observe the abatement contractor's work practices and to ensure that no visible emissions are generated during the removal and cleanup activities. If visible emissions are observed, work practices shall be altered according to the project monitor's recommendations.

Interior Intact Window Removal

2. Under areas where ACM windows are being removed a dropcloth, made of six (6) mil fire retardant polyethylene sheeting, shall be placed on the ground below the work area to prevent spread of any ACM remnants.
3. All components with ACM shall be removed intact without any disturbance to the ACM matrix during removal operations. If power tools are utilized to aid in unfastening components, the power tools shall be manufacturer equipped with HEPA-exhaust attachment, and shall be utilized as per manufacturer's instructions.
4. Removed windows shall be immediately wrapped in two (2) layers of 6 mil, fire retardant plastic sheeting and secured air tight.

Interior Manual Window Caulk/Glazing Removal

5. Under areas where ACM caulk/glazing is being removed manually a dropcloth, made of six (6) mil fire retardant polyethylene sheeting, shall be placed on the ground below the work area to prevent spread of any ACM remnants.
6. As proposed, an asbestos handler (worker) shall keep the material continually wet while another worker with a HEPA vacuum will position the vacuum hose within four (4) inches of the material being removed to capture small pieces of non-friable ACM and asbestos fines. The hose end will be positioned so that as many smaller pieces of material as possible will fall into the vacuum hose end. Larger pieces of ACM should be immediately bagged or containerized.

Clearance Air Sampling

7. For interior intact window removals or manual ACM caulk/glazing removal, inside work area (i.e., each separate room) air samples shall be collected during abatement and cleaning activities to supplement the ICR 56 required daily abatement air sampling. The number of inside work area air samples shall be dependent on the amount of ACM to be abated within the work area (1 – minor, 3 – small, 5- large), and the air samples shall be distributed throughout the work area. In lieu of post-abatement clearance air monitoring in compliance with 56-9.2(d), the most recent daily abatement air samples collected during removal and cleaning operations in each regulated abatement work area, shall be used for comparison with 56-4.11 clearance criteria.

Building and Fire Code Requirements

8. All other Codes shall apply, including but not limited to, "The New York State Uniform Fire Prevention and Building Code" or its successor. A copy of the current prefire plan or modifications to the existing building fire safety and evacuation plan shall be completed for the asbestos project and the finalized plan must be available on-site.
9. Required means of egress for building/structure including stairways must be maintained for the duration of the asbestos project. All required means of egress shall be clearly marked inside and out.
10. Structural integrity of building/structure existing structural elements shall not be compromised by the asbestos abatement contractor during the asbestos project.
11. Pre-demolition asbestos projects at buildings with an existing standpipe, must have such standpipe maintained in an operational condition for the duration of the asbestos project.
12. Usage of this variance is limited to those asbestos removals identified in this variance or as outlined in the Petitioner's proposal.

In addition to the conditions required by the above specific variances, the Petitioner shall also comply with the following general conditions:

GENERAL CONDITIONS

1. A copy of this DECISION and the Petitioner's proposals shall be conspicuously displayed at the entrance to the personal decontamination enclosure.

2. This DECISION shall apply only to the removal of asbestos-containing materials from the aforementioned areas of the subject premises.
3. The Petitioner shall comply with all other applicable provisions of Industrial Code Rule 56-1 through 56-12.
4. The NYS Department of Labor Engineering Service Unit retains full authority to interpret this variance for compliance herewith and for compliance with Labor Law Article 30. Any deviation to the conditions leading to this variance shall render this variance Null and Void pursuant to 12NYCRR 56-12.2. Any questions regarding the conditions supporting the need for this variance and/or regarding compliance hereto must be directed to the Engineering Services Unit for clarification.
5. This DECISION shall terminate on November 30, 2013.

Date: November 26, 2012

By

PETER M. RIVERA
COMMISSIONER OF LABOR



Edward A. Smith, P.E.
Senior Safety and Health Engineer

PREPARED BY: James Meacham, P.E.
Senior Safety and Health Engineer

REVIEWED BY: Edward A. Smith, P.E.
Associate Safety and Health Engineer

MANHATTEN PSYCH CENTER, WARDS ISLAND, NY**BACKGROUND**

This site is a former psychiatric hospital. It is no longer in operation, except for the basement and first floor corridors, and has not been occupied in about 14 years. The property owner is New York State. They are looking to renovate the building. Due to the size of the building (twenty stories), it is very difficult to remove exterior window caulking and glazing to the exterior as prescribed by ICR 56-11.6. Because of this we are seeking relief from ICR 56.

QUESTION 9 – ICR 56 RELIEF SOUGHT

- Mu*
1. 56-7.5(b1-e1) – Personal and waste decontamination enclosures – Remote decons will be utilized *(d, f)*
 2. 56-7.11(a-e) – Regulated abatement work area enclosure – Poly drop cloths will be used
 3. 56-9.2(d) – Clearance air sampling – most recent daily samples which meet clearance criteria will be used as clearance air samples

QUESTION 10 – HARDSHIP DESCRIPTION

Due to the size of the building and the access to the exterior of the windows, we find it extremely difficult to remove the windows to the exterior. Since this is a vacant site, we feel the health and safety of the public will not be an issue.

QUESTION 11 – PROPOSED ABATEMENT METHOD

- Windows shall be removed from one (1) floor at a time. Each floor will be considered the regulated abatement work area. All other ACM shall be removed prior to the removal of the windows. There is a lockable door from the elevator lobby to the unoccupied side of the building and only asbestos certified personnel shall be permitted in the area until after final clearance is achieved. All doors to the work areas shall have appropriate signage.
- A remote personal/waste decontamination enclosure system that fully complies with ICR 56 as required for large asbestos projects will be used.
- Two (2) people at all times shall perform the window caulk and glazing material removal utilizing manual methods only. One (1) person shall be responsible for keeping the material constantly wet, while they remove the asbestos materials. The second person will be responsible for making sure that a HEPA vacuum is in operation within 4 inches of the material being removed at all times.
- Where windows can be removed in tact they will be removed from the interior of the building without disturbing the glazing compound and wrapped with two (2) layers of 6-mil polyethylene sheeting and disposed of in their entirety.
- Drop cloths of 6-mil polyethylene sheeting will be placed below all work areas, on the exterior, and extend at least the (10) feet per story outward from the building up to a maximum of thirty (30) feet as well as to the side of the work zone. Polyethylene sheeting will be placed on the interior side at least ten (10) feet from the wall to the center of the room.
- Following the removal of asbestos materials, the immediate work area shall be wet cleaned and HEPA vacuumed.
- The work area shall remain vacated except for certified workers and authorized visitors until a satisfactory visual inspection has been achieved.
- After removal is complete and a minimum drying period of twenty (20) minutes has elapsed, the abatement locations shall be inspected and determined to be free of debris and dry, ~~the asbestos abatement will be considered complete.~~

Excluding the variance requests outlined above, abatement activities will be conducted in accordance with ICR 56.

*by the project monitor, ~~and~~ Final daily abatement + sample(s) will be used for clearance samples. * See conditions*

Mu

If you have any questions or need additional information, please feel free to contact me at (518) 431-0007 or email kmcgill@warrenpanzer.com

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'K. McGill', written over a horizontal line.

Kevin J. McGill, CIEC – NYS Certified Designer # 01-16245

008

CONTRACT NO.

KEY PLAN

WARNING: THE LOCATION OF THE MATERIALS IS NOT TO BE CHANGED. THE MATERIALS ARE TO BE REMOVED AND DISPOSED OF AS DIRECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF THE WORKERS AND THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ADJACENT BUILDINGS AND THE ENVIRONMENT.

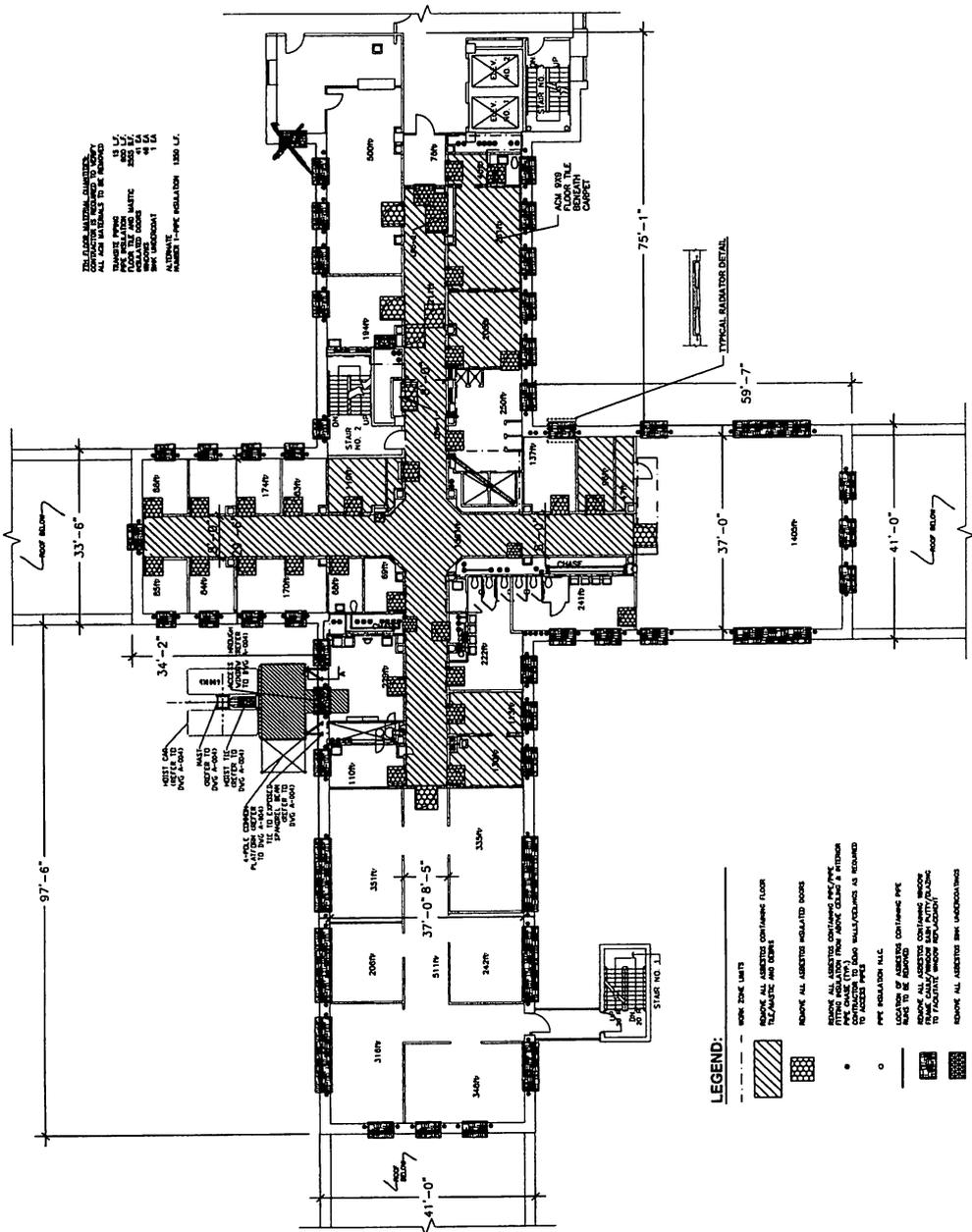
CONSTRUCTION

ASBESTOS REMOVAL, DEMOLITION, AND REPAIRS
 DUNLAP BUILDING NO. 102, 44-SIDE
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125TH STREET
 HARLEM ISLAND, NY 10035

OFFICE OF MENTAL HEALTH

LOOSE - 34	3/78/72	LOOSE SUBSECTION 34
LOOSE - 24	06/16/70	LOOSE SUBSECTION 24
LOOSE - 14	06/16/70	LOOSE SUBSECTION 14
DO	07/7/2008	DOE SUBSECTION
DO	07/7/2008	DOE DEVELOPMENT
DO	07/7/2008	DO DOCUMENT
DO	07/7/2008	DO DESCRIPTION
PROJECT NUMBER: 00763 - C		
DESIGNED BY: []		
CHECKED BY: []		
TYPED BY: []		
DATE: []		
PROJECT FILE: []		
DRAWING NUMBER: H-108		
SHEET 17 OF 50		

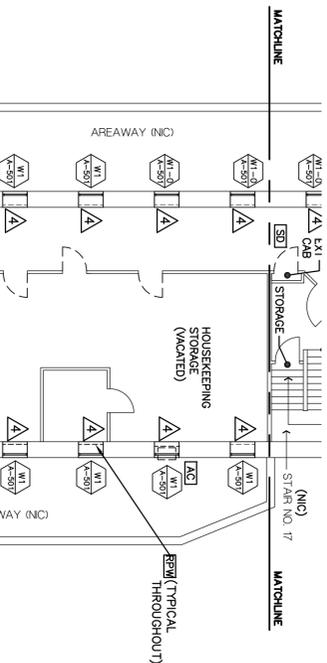
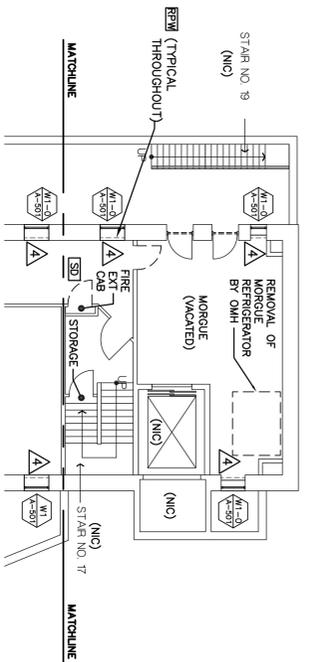
THE FLOOR MATERIALS CONTAINED
 ON THIS FLOOR ARE TO BE REMOVED
 AND DISPOSED OF AS DIRECTED.
 THE CONTRACTOR SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY
 PERMITS AND FOR THE PROTECTION
 OF THE WORKERS AND THE PUBLIC.
 THE CONTRACTOR SHALL BE
 RESPONSIBLE FOR THE PROTECTION
 OF THE ADJACENT BUILDINGS
 AND THE ENVIRONMENT.



- LEGEND:**
- WORK ZONE LIMITS
 - REMOVE ALL ASBESTOS CONTAINING FLOOR MATERIALS AND CEILING
 - REMOVE ALL ASBESTOS INSULATED ROOFS
 - REMOVE ALL ASBESTOS CONTAINING PVC/PVE PIPE CHASE (TPV) AND REMOVE CEILING IF INSULATION IS ASBESTOS CONTAINING
 - REMOVE ALL ASBESTOS CONTAINING PVC/PVE PIPE CHASE (TPV) AND REMOVE WALL/COLUMNS AS REQUIRED TO ACCESS PIPE
 - PVC INSULATION R/C
 - REMOVE ALL ASBESTOS CONTAINING PVC/PVE PIPE CHASE (TPV) AND REMOVE CEILING IF INSULATION IS ASBESTOS CONTAINING
 - REMOVE ALL ASBESTOS CONTAINING PVC/PVE PIPE CHASE (TPV) AND REMOVE WALL/COLUMNS AS REQUIRED TO ACCESS PIPE
 - REMOVE ALL ASBESTOS INS. (UNDERLAYING)
 - ALTERNATE MATERIAL

SEVENTH FLOOR ASBESTOS ABATEMENT PLAN
 H-108

GENERAL ASBESTOS ABATEMENT NOTES: REFER TO DRAWING NUMBER H-01.



GENERAL NOTES:

- GN-1 NOT USED. DOES NOT APPLY TO THIS DRAWING
- GN-2 REFER TO GENERAL NOTE A ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UNINSULATED EXISTING DOMESTIC HOT AND COLD PIPE AND FITTINGS.
- GN-3 REFER TO GENERAL NOTE B ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UNINSULATED EXISTING HEATING (STEAM AND CONDENSATE) PIPING.

MISCELLANEOUS SYMBOLS/NOTES:

- AC AIR CONDITIONING UNIT AT WINDOW, EXISTING— REMOVE AND TURN OVER TO OWNER.
- EL EMERGENCY LIGHT — DO NOT DISTURB
- SD SMOKE DETECTOR — DO NOT DISTURB
- SP SPEAKER/STROBE LIGHT — DO NOT DISTURB
- PS PULL STATION — DO NOT DISTURB
- FR PANELS AND RISERS TO REMAIN
- EXIT EXIT SIGN WITH DIRECTIONAL ARROW — DO NOT DISTURB
- EXIST EXISTING FIRE HOSE STANDPIPE & VALVE TO REMAIN FOR TEMPORARY STANDPIPE

REPLACEMENT AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT— BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3"± THICK CMU WITH PLASTER FINISH (± TOTAL THICKNESS). REMOVE BASEMENT EXISTING INTERIOR WYTHE ASSEMBLY (INCLUDING ALL EXISTING PLASTER FINISH) FROM TOP OF EXISTING WINDOW JAMB TO TOP OF EXISTING WINDOW JAMB. FROM TOP OF EXISTING FINISH FLOOR TO TOP SECURITY RADATOR COVER ASSEMBLY IN THEIR ENTIRETIES. REMOVE ALL EXISTING WINDOW STUOLS. AT ALL EXISTING WINDOW JAMB OF ALL EXISTING EXTERIOR WALL ASSEMBLY CONSISTING OF CMU'S AND FINISH PLASTER FINISH REMOVE EXISTING EXTERIOR WALL ASSEMBLY AND WINDOW GLASS. SEE ALSO DRAWING NUMBERS: A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

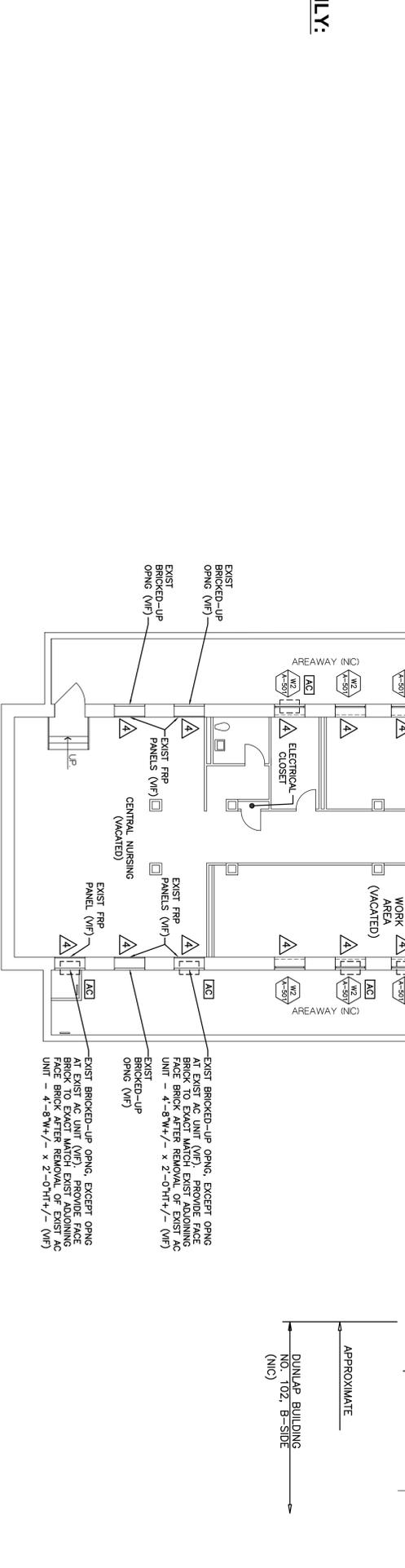
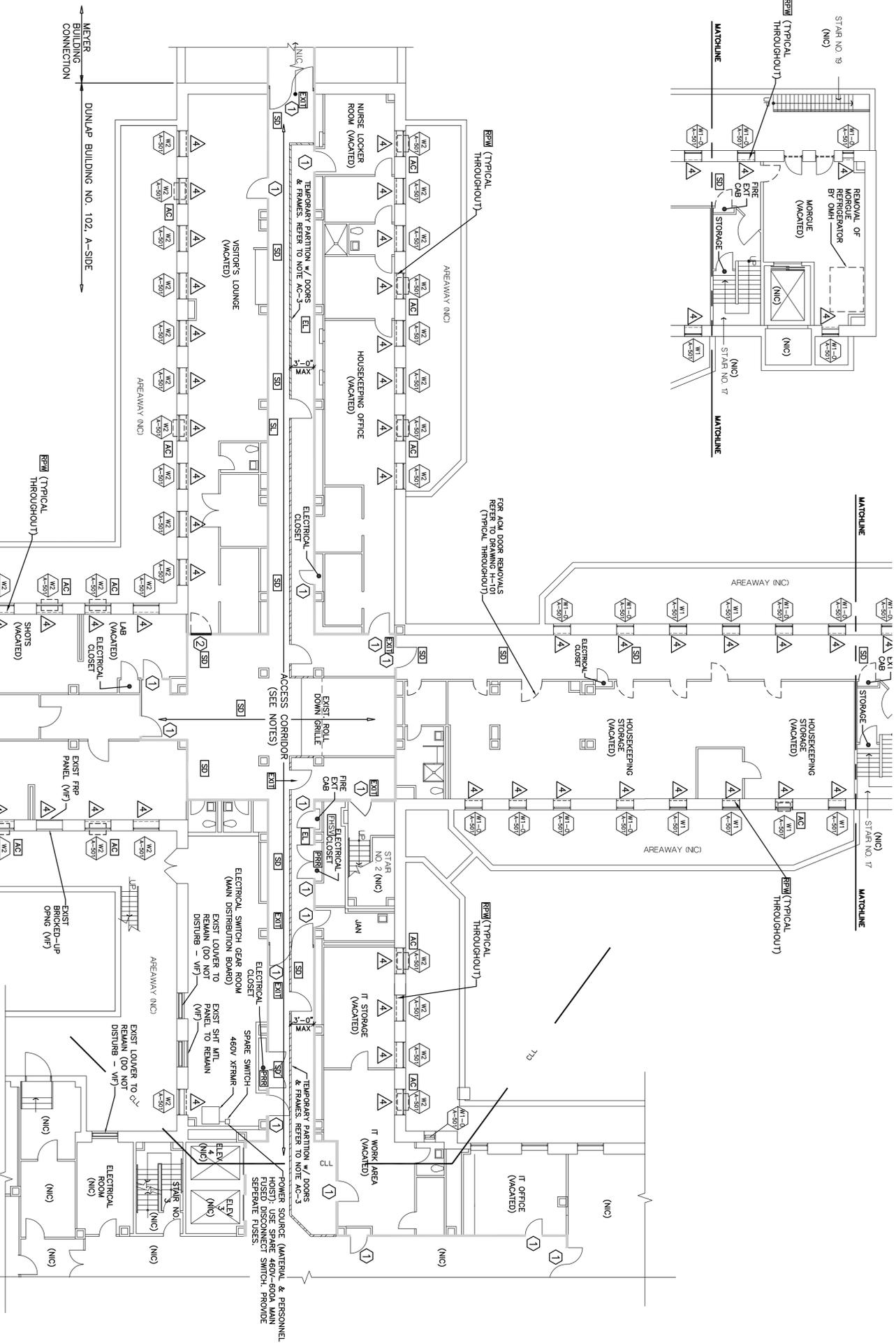
EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

PLAN NOTES **ACCESS CORRIDOR ONLY:**

- 1 DOOR, FRAME AND HARDWARE TO REMAIN.
- 2 FILL DOOR OPENING. PROVIDE 3/8" x 22 GAUGE GALVANIZED STEEL STUDS @ 16" O.C. MAXIMUM SPACING. 3/8" x 22 GAUGE GALVANIZED SPACERS @ 16" O.C. MAXIMUM SPACING. 3/8" x 22 GAUGE GALVANIZED SPACER TYPE AND SAND BOLD STRIPS. PAINT WITH BRN ENAMEL ON CORRIDOR SIDE ONLY. FINISH FACE OF FILL TO BE FLUSH WITH FINISH FACE OF EXISTING CORRIDOR WALL. PROVIDE VINYL BASE AT CORRIDOR SIDE ONLY.

ACCESS CORRIDOR NOTES:

- AC-1 THE BASEMENT ACCESS CORRIDOR CONNECTS OCCUPIED DUNLAP BUILDING B-SIDE THROUGH UNOCCUPIED DUNLAP BUILDING A-SIDE TO REMAIN IN FACILITY USE DURING THE DURATION OF CONSTRUCTION. THE CONTRACTOR IS HEREBY DIRECTED TO MINIMIZE USE OF THE CORRIDOR DURING THE CONSTRUCTION PERIOD. ANY OBSTRUCTION OF THE CORRIDOR SHALL BE REMOVED IMMEDIATELY. THE DURATION OF THE CORRIDOR SHALL BE A MINIMUM OF 24 HOURS IN ADVANCE.
- AC-2 EXISTING CEILINGS AND LIGHTS TO REMAIN UNDISTURBED IN ACCESS CORRIDOR.
- AC-3 BARRIERS AND ENCLOSURES. PROVIDE TEMPORARY PARTITION WITH 2'-10 1/2" x 7'-0 1/2" DOORS. FRAMES AND HARDWARE FOUR (4) DOORS TOTAL. CONSTRUCT PARTITION FROM 1"O. EXIST. FINISH FLOOR TO U/S OF EXISTING FINISHED CEILING. PROVIDE APPROVED FASTENERS AT 2'-0" O.C. MIN SPACING AT FLOORS AND CEILINGS. MOVE PARTITION FROM EAST SIDE TO WEST SIDE WHEN WORK IS THRU ON THAT SIDE OR VICE VERSA AT THE DIRECTION OF THE ETC.



BASEMENT DEMOLITION AND WINDOW INSTALLATION PLAN

3/32" = 1'-0"

OCS
 NYS OFFICE OF GENERAL SERVICES
 Setting New York
 ANDREW M. CLOMO
 Governor
 ROANN M. DESTITO
 Commissioner
 JAMES M. MATTERS, A.A.A.
 Deputy Commissioner, Design and Construction
 CONSULTANT

WARNING:
 THE ATTENTION OF THE MATERIAL, IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPETENT PROFESSIONAL, I.E. ARCHITECT OR AN ARCHITECT ENGINEER FOR AN ENGINEER OR LICENSED ARCHITECT ENGINEER, IS HEREBY ADVISED THAT THE PROVISIONS OF NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.

KEY PLAN

CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER	Q0763 — C	
DESIGNED BY:	DWM	
DRAWN BY:	SL, DWM	
FIELD CHECK:	OCS	
APPROVED:	DWM	

SHEET TITLE:
 BASEMENT DEMOLITION AND WINDOW INSTALLATION PLAN

DRAWING NUMBER:
A-101

SHEET 27 OF 56

MATERIAL	QUANTITY
ACOUSTIC CEILING TILES	3,506ft ²
PLASTER CEILING	11,827ft ²
GYPSPUM BOARD WALLS	1574ft ²
CERAMIC TILE FLOOR	1,324ft ²

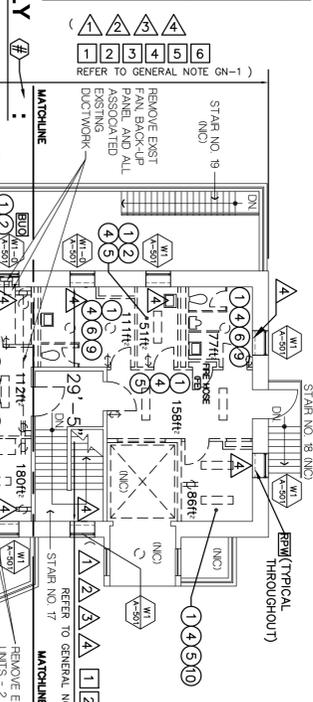
IMPORTANT NOTE: ALL QUANTITIES LISTED ON THE DRAWINGS ARE ESTIMATED QUANTITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES SHOWN ON THE DRAWINGS TO BE CORRECT. QUANTITIES LISTED ON THIS SCHEDULE OR ANYWHERE ELSE ON THE DRAWINGS OR IN THE SPECIFICATIONS, NOT ALL THE MATERIALS TO BE USED FOR ALL THE MATERIALS THAT SHALL BE REMOVED. REFER ALSO TO NOTE GN-1 ON THIS DRAWING. REFER TO LEGEND KEY ON DRAWING NUMBER A-102. REFER TO DRAWING NUMBER A-104 FOR HVAC, PLUMBING AND ELECTRICAL MATERIALS QUANTITIES.

PLAN NOTES - ACCESS CORRIDOR ONLY

- 1 DOOR, FRAME AND HARDWARE TO REMAIN.
- 2 FILL DOOR OPENING: PROVIDE 3/8" x 22 GAUGE GALVANIZED STEEL STUDS @ 16" O.C. MAXIMUM SPACING; 3/8" x 22 GAUGE GALVANIZED RUNNERS TOP AND BOTTOM; 3/8" F.R. GYPSPUM WALL BOARD EACH SIDE; SPACKLE TAPE AND SAND BOTH SIDES; PAINT WITH TWO COATS ON CORRIDOR SIDE ONLY; FINISH FACE OF FILL TO BE FLUSH WITH FINISH FACE OF EXISTING DOOR FRAME.
- 3 EXISTING PARTIAL HEIGHT WALL HERE. PROVIDE WALL FROM TOP OF EXISTING PARTIAL HEIGHT WALL TO 2 ABOVE INCLUDING FINISH.

ACCESS CORRIDOR NOTES:

- AC-1 THIS IS AN OCCUPIED FLOOR. THIS CORRIDOR MUST REMAIN FREE, CLEAR AND UNOBSTRUCTED THROUGHOUT THE DURATION OF THIS PROJECT.
- AC-2 EXISTING CEILING AND LIGHTS TO REMAIN UNDISTURBED IN ACCESS CORRIDOR.



GENERAL NOTES - ELECTRICAL:

REFER TO DRAWING NUMBER A-103
 ALL THOSE NOTES APPLY TO THIS DRAWING.

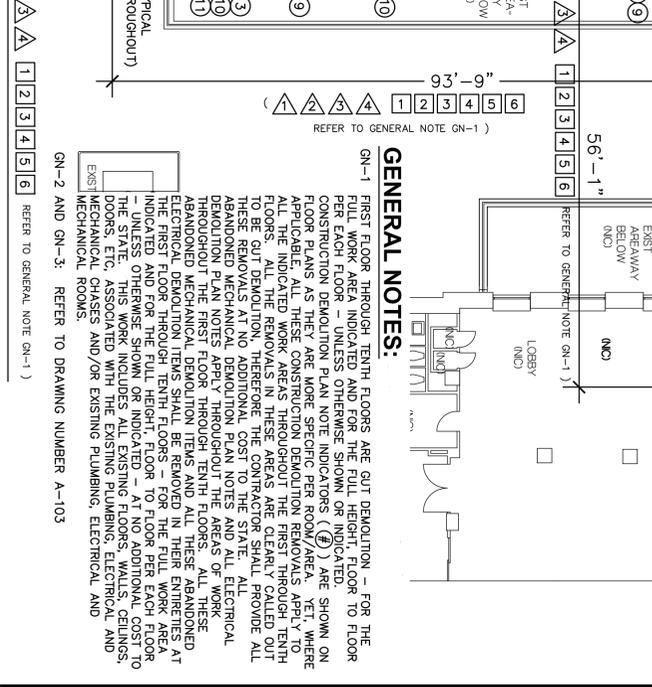
WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OMH)

- CONSTRUCTION DEMOLITION PLAN NOTES:** (COORDINATE DOOR REMOVAL WITH ASBESTOS ABATEMENT WORK)
- 1 REMOVE EXISTING FIXED FURNITURE AND FIXED ACCESSORIES (CLOSETS, SHELVE, CASEWORK, COUNTERTOPS, WALL MOUNTED CABINETS, MIRRORS, DISPENSERS, BULLETIN BOARDS, MARBLE TOILET PARTITIONS, MARBLE SCREEN-WALLS/PARTITIONS, ETC.) TYPICAL THROUGHOUT ALL SPACES AT DEMOLITION WORK, WHETHER CALLED FOR OR NOT.
 - 3 REMOVE EXISTING ACOUSTIC CEILING, GRID SYSTEM AND SUPPORTS.
 - 4 REMOVE EXISTING PLASTER CEILING, LATH, BLACK IRON AND SUPPORTS.
 - 5 REMOVE EXISTING CMU PARTITION WITH PLASTER WALL FINISH, STEEL DOORS(S), STEEL FRAME(S) AND HARDWARE, ETC. PATCH FLOOR SLAB TO REMAIN. REMOVE ALL ACCESSORIES ATTACHED TO EXISTING WALLS, SUCH AS BUT NOT LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, ANY AND ALL ACCESSORIES, ETC.
 - 6 REMOVE EXISTING CMU PARTITION WITH CERAMIC TILE WALL FINISH AND/OR PLASTER TO REMAIN. REMOVE ALL ACCESSORIES ATTACHED TO EXISTING WALLS, SUCH AS BUT NOT LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, AND ALL ACCESSORIES, ETC.
 - 7 REMOVE EXISTING GYPSPUM WALL BOARD PARTITIONS, FRAMING AND DOOR FRAMES.
 - 8 NOT USED.
 - 9 REMOVE EXISTING CERAMIC TILE FLOOR FINISH.
 - 10 REMOVAL OF EXISTING VINYL ASBESTOS TILE (VAT). REFER TO ASBESTOS REMOVAL DRAWINGS.
 - 11 REMOVALS BY OMH: ALL EXISTING X-RAY AND ALL EXISTING DARK ROOM EQUIPMENT - SUCH AS BUT NOT LIMITED TO THE FOLLOWING: FLOOR MOUNTED EQUIPMENT, CEILING MOUNTED EQUIPMENT, FREE STANDING EQUIPMENT, ETC. CONTRACTOR TO REMOVE ALL PARTITION WALLS, ALL ELECTRICAL RACEWAYS AND/OR ELECTRICAL CONDUITS, ELECTRIC SUB-PANELS, ETC. ASSOCIATED WITH THE EXISTING X-RAY EQUIPMENT. REMOVE ALL RELATED CONCRETE PADS.

- ABANDONED MECHANICAL DEMOLITION PLAN NOTES:** (CONTINUED)
- 1 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK AND ACCESSORIES AND CAP AT MAIN.
 - 2 REMOVE VENT, WASTE AND ALL HOT AND COLD DOMESTIC WATER LINES BACK TO RISER IN CHASE/WALL AND CAP.
 - 3 EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.
- ABANDONED ELECTRICAL DEMOLITION PLAN NOTES:**
- 1 REMOVE ALL ABANDONED RACEWAYS, BOXES, SUPPORTS, ETC. WHERE EXPOSED (INCLUDING THOSE LOCATED ABOVE EXISTING SUSPENDED CEILING), AND WHERE THEY WILL INTERFERE WITH WORK OF FUTURE REHAB PROJECT. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE.
 - 2 DISCONNECT AND REMOVE ALL EXISTING CONDUITS, CONDUCTORS, RECEPTACLES, ETC. AS REQUIRED BACK TO EXISTING SOURCE.
 - 3 DISCONNECT AND REMOVE EXISTING SOUND SYSTEM DEVICES(S), CIRCUITING AND ALL SYSTEM COMPONENTS BACK TO EXISTING SOUND CONSOLE.
 - 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE(S), SWITCHES AND CIRCUITRY BACK TO POWER PANEL.
 - 5 DISCONNECT AND REMOVE TELEPHONE AND ALL WIRING CONDUIT ASSOCIATED BACK TO SOURCE.
 - 6 DISCONNECT PANEL TO BE REMOVED. PANELEBOARDS AND RISERS SERVING PANELEBOARDS ARE TO REMAIN.

- MISCELLANEOUS SYMBOLS/NOTES:**
- 1 AIR CONDITIONING UNIT AT WINDOW, EXISTING - REMOVE AND TURN OVER TO OMH.
 - 2 SPRINKLERS, EXISTING AT ROOMS DENOTED THUS - REMOVE, REFER TO NOTE 06 ON DRAWING NUMBER A-102.
 - 3 AIR CONDITIONING UNIT AT WINDOW, EXISTING - REMOVE AND TURN OVER TO OMH.
 - 4 BOARD UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.



GENERAL NOTES:

GN-1 FIRST FLOOR THROUGH TENTH FLOORS ARE GUT DEMOLITION - FOR THE FULL FLOOR AREA INDICATED AND FOR THE FULL HEIGHT, FLOOR TO FLOOR PER EACH FLOOR - UNLESS OTHERWISE SHOWN OR INDICATED. CONSTRUCTION DEMOLITION PLAN NOTE INDICATORS (C) ARE SHOWN ON APPROVED ASBESTOS ABATEMENT PLAN FOR REMOVALS ARE TO BE GUT DEMOLITION. ALL THE REMOVALS IN THESE AREAS ARE CLEARLY CALLED OUT TO BE GUT DEMOLITION, THEREFORE THE CONTRACTOR SHALL PROVIDE ALL THESE REMOVALS AT NO ADDITIONAL COST TO THE STATE. ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE'S ELECTRIC, PLUMBING, MECHANICAL AND ELECTRICAL CODES. ALL THESE ABANDONED MECHANICAL DEMOLITION ITEMS SHALL BE REMOVED IN THEIR ENTIRETY AT THE FIRST FLOOR THROUGH TENTH FLOORS - FOR THE FULL WORK AREA INDICATED AND FOR THE FULL HEIGHT, FLOOR TO FLOOR PER EACH FLOOR TO THE STATE. THIS WORK INCLUDES ALL EXISTING FLOORS, WALLS, CEILING, DOORS, ETC. ASSOCIATED WITH THE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ROOMS.

GN-2 AND GN-3: REFER TO DRAWING NUMBER A-103

REFER TO GENERAL NOTE GN-1

FINAL	10/3/2012	BID DOCUMENT
DATE		
MARK		
PROJECT NUMBER	Q0763	C
DESIGNED BY:	DWM	
DRAWN BY:	SL DWM	
FIELD CHECK:	SL DWM	
APPROVED:	DWM	
SHEET TITLE:	FIRST FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN	
DRAWING NUMBER:	A-102	
SHEET	28	OF 56

CONSTRUCTION

ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS

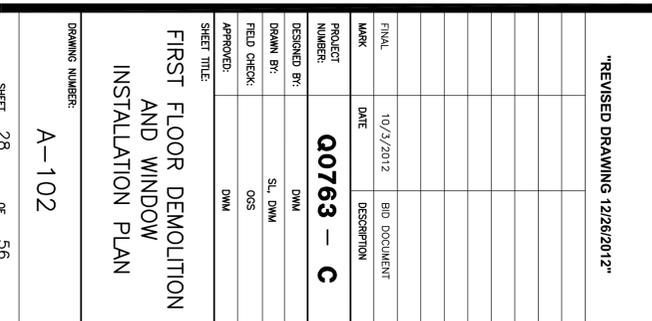
DUNLAP BUILDING NO. 102, A-SIDE

LOCATION: MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035

CLIENT: OFFICE OF MENTAL HEALTH

RECEIVED ARCHITECT
 DAVID W. MILLER
 STATE OF NEW YORK
 REGISTERED PROFESSIONAL ARCHITECT

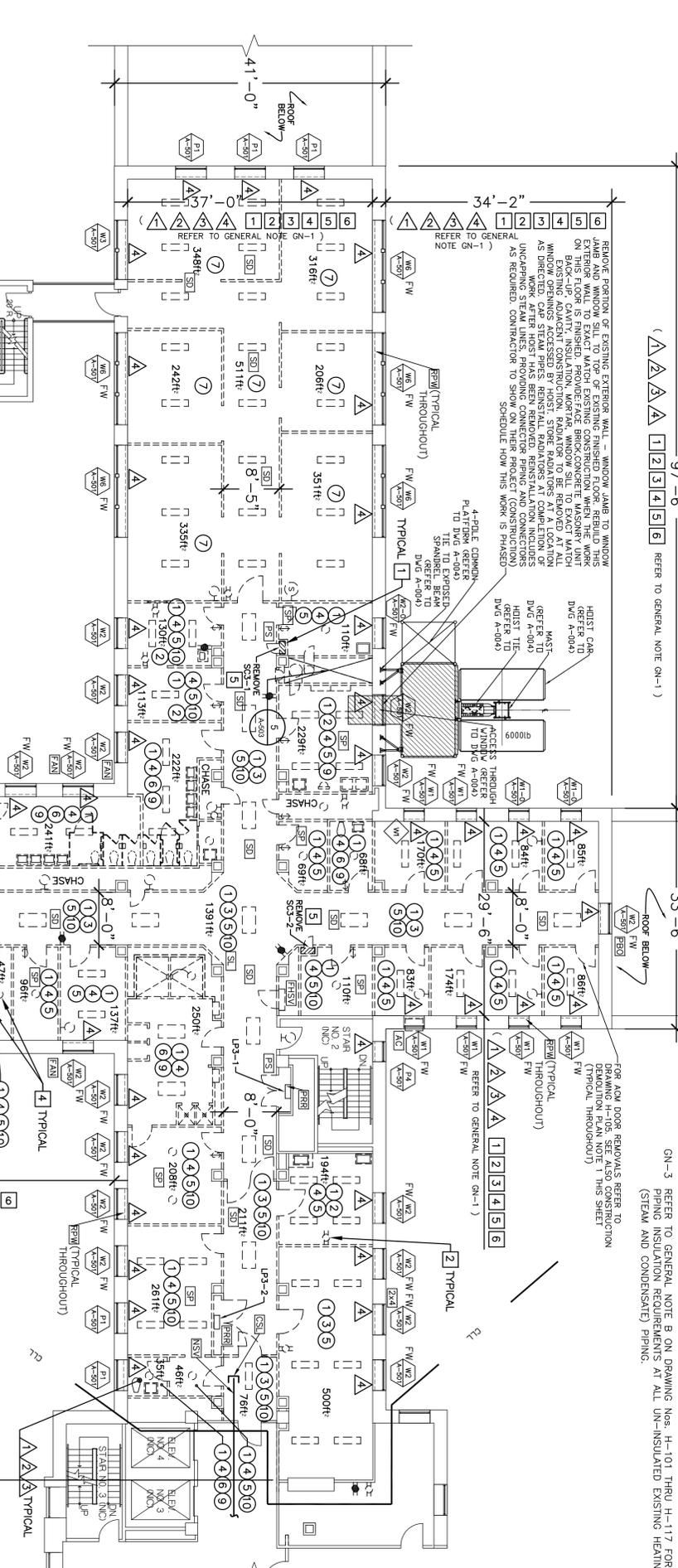
WARNING: THE ATTRIBUTION OF THIS MATERIAL, IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, IS AN OFFENSE FOR AN ARCHITECT, ENGINEER OR LANDSCAPE ARCHITECT UNDER SECTION 207 OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS A MISDEMEANOR.



CONSULTANT:
 NYS OFFICE OF GENERAL SERVICES
 Scrivny New York
 ANDREW M. CIOMO
 Governor
 ROYANN M. DESISTO
 Commissioner
 JAMES J. COMMISSIONER, A.A.A.
 Deputy Commissioner, Design and Construction

MISCELLANEOUS SYMBOLS/NOTES:

- AC AIR CONDITIONING UNIT AT WINDOW, EXISTING - REMOVE AND TURN OVER TO OWH.
- SPRINKLERS, EXISTING AT ROOMS DERIVED THIS - REMOVE. REFER TO NOTE G8 ON DRAWING NUMBER A-002.
- BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- FAN, EXISTING, MOUNTED IN WINDOW - REMOVE.
- SECURITY SCREEN, EXISTING STEEL SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- INSECT SCREEN WITH 2x4 WOOD FRAME, EXISTING - REMOVE.
- PLYWOOD BOX OUT - REMOVE.
- SMOKE DETECTOR - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE G8 ON DRAWING A-002
- SPEAKER/STROBE LIGHT - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE G8 ON DRAWING A-002
- PULL STATION - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE G8 ON DRAWING A-002
- PANELS AND RISERS TO REMAIN
- EXISTING FIRE HOSE STANDPIPE & VALVE TO REMAIN FOR TEMPORARY STANDPIPE
- CAP EXISTING SPRINKLER LINE
- NO SPRINKLER VALVE THIS LOCATION
- AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR WHTH OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3" THICK CMU WITH PLASTER FINISH (4" TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WALL ASSEMBLY (INCLUDING ALL EXISTING BEST MATERIAL HERE) TO BE RELOCATED FROM EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB. REMOVE SECURITY RADIATOR COVER ASSEMBLIES IN THEIR ENTIRETY. REMOVE ALL EXISTING WINDOW STOPS. AT ALL EXISTING WINDOW JAMB RETURNS: REMOVE THOSE PORTIONS OF THE EXISTING WINDOW WHTH OF EXISTING EXTERIOR WALL ASSEMBLY CONSISTING OF CMU'S AND PLASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS: A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.



GENERAL NOTES:

- GN-1 FIRST FLOOR THROUGH TENTH FLOORS ARE OUT DEMOLITION - FOR THE PER EACH FLOOR INDICATED UNLESS OTHERWISE SHOWN OR INDICATED CONSTRUCTION DEMOLITION PLAN NOTE INDICATORS (1) ARE SHOWN ON FLOOR PLANS AS THEY ARE MORE SPECIFIC PER ROOM/AREA. YET, WHERE APPLICABLE, ALL THESE CONSTRUCTION DEMOLITION REMOVALS APPLY TO ALL THE INDICATED WORK AREAS THROUGHOUT THE FIRST THROUGH TENTH FLOORS. ALL THE REMOVALS IN THESE AREAS ARE CLEARLY CALLED OUT THESE REMOVALS INTERFERE WITH THE CONSTRUCTION OF SHALL PREPARED MECHANICAL DEMOLITION PLAN NOTES AND ALL ELECTRICAL DEMOLITION PLAN NOTES APPLY THROUGHOUT THE AREAS OF WORK THROUGHOUT THE FIRST FLOOR THROUGH TENTH FLOORS. ALL THESE ABANDONED ELECTRICAL MECHANICAL DEMOLITION ITEMS AND ALL THESE ABANDONED ELECTRICAL MECHANICAL DEMOLITION ITEMS SHALL BE MOVED FROM THE ENTIRETY SEA INDICATED AND FOR THE FULL HEIGHT, FLOOR TO FLOOR PER EACH FLOOR - UNLESS OTHERWISE SHOWN OR INDICATED - AT NO ADDITIONAL COST TO THE STATE. THIS WORK INCLUDES ALL EXISTING FLOORS, WALLS, CEILING, MECHANICAL CHASSES AND/OR EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ROOMS.
- GN-2 REFER TO GENERAL NOTE A ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UN-INSULATED EXISTING DOMESTIC HOT AND COLD PIPE AND FITTINGS.
- GN-3 REFER TO GENERAL NOTE B ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UN-INSULATED EXISTING HEATING (STEAM AND CONDENSATE) PIPING.
- FOR ADM DOOR REMOVALS REFER TO DRAWING H-105. SEE ALSO CONSTRUCTION DEMOLITION PLAN NOTE 1 THIS SHEET

CONSTRUCTION DEMOLITION PLAN NOTES:

- 1 REMOVE EXISTING STEEL DOORS, STEEL FRAMES AND RELATED HARDWARE. (COORDINATE DOOR REMOVAL WITH ASBESTOS ABATEMENT WORK)
- 2 REMOVE EXISTING FIXED FURNITURE AND FIXED ACCESSORIES (CLOSETS, SHELVING, CASEWORK, COUNTERTOPS, WALL MOUNTED CABINETS, MIRRORS, SCREEN-WALLS/PARTITIONS, ETC.). TYPICAL THROUGHOUT ALL SPACES AT DEMOLITION WORK, WHETHER CALLED FOR OR NOT.
- 3 REMOVE EXISTING ACOUSTIC CEILING TILES, GRID SYSTEM AND SUPPORTS.
- 4 REMOVE EXISTING PLASTER CEILING, LATH, BLACK IRON AND SUPPORTS.
- 5 REMOVE EXISTING CMU PARTITION WITH PLASTE
- 6 STEEL DOOR(S) & FRAME(S) AND HARDWARE, ETC. PATCH FLOOR SLAB TO REMAIN. REMOVE ALL ACCESSORIES ATTACHED TO EXISTING WALLS, SUCH AS BUT NOT LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, AND ALL ACCESSORIES, ETC.
- 7 REMOVE EXISTING GYPSUM WALL BOARD PARTITIONS, FRAMING AND DOOR FRAMES.
- 8 NOT USED.
- 9 REMOVE EXISTING CERAMIC TILE FLOOR FINISH.
- 10 REMOVAL OF EXISTING VINYL ASBESTOS TILE (VAT). REFER TO ASBESTOS REMOVAL DRAWINGS.

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL EXISTING PLUMBING FIXTURES AND PARTITIONS.
- 2 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK AND ACCESSORIES AND CAP AT MAIN.
- 3 REMOVE VENT, WASTE AND ALL HOT AND COLD DOMESTIC WATER LINES BACK TO RISER IN CHASE/WALL AND CAP.
- 4 EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

ABANDONED ELECTRICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL ABANDONED RACKS, BOXES, SUPPORTS, ETC. WHERE EXPOSED (INCLUDING THOSE LOCATED ABOVE EXISTING SUSPENDED CEILING) AND WHERE THEY WILL INTERFERE WITH WORK OF FUTURE REHAB PROJECT. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE.
- 2 DISCONNECT AND REMOVE ALL EXISTING CONDUITS, CONDUCTORS, RECEPTACLES, ETC. AS REQUIRED BACK TO EXISTING SOURCE.
- 3 DISCONNECT AND REMOVE EXISTING SOUND SYSTEM DRIVES(S) CONSOLE.
- 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE(S), SWITCHES AND CIRCUITRY BACK TO POWER PANEL.
- 5 DISCONNECT AND REMOVE TELEPHONE AND ALL WIRING CONDUIT ASSOCIATED BACK TO SOURCE.
- 6 DISCONNECT PANEL TO BE REMOVED. PANELBOARDS AND RISERS SERVING PANELBOARDS ARE TO REMAIN.

GENERAL NOTES - ELECTRICAL:

- A. CONTRACTOR SHALL IDENTIFY AND MAINTAIN THE CIRCUITS TO REMAIN ACTIVE:
- 1. STAIRWAY LIGHTING
- 2. LIGHTING AND POWER IN ELEVATOR CORE AREA
- 3. LIGHTING AND POWER OUTSIDE WORK AREA
- B. SOURCE FOR TEMPORARY LIGHT AND POWER IS FROM THE EXISTING "PANELS AND RISERS TO REMAIN"

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OWH)

MATERIAL	QUANTITY
ACOUSTIC CEILING TILES	8735SF
PLASTER CEILING	1.3505SF
GYPSUM BOARD WALLS	9605SF
CERAMIC TILE FLOOR	4405SF

IMPORTANT NOTE: ALL QUANTITIES LISTED ON THE DRAWINGS ARE ESTIMATES AND ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL MATERIALS ARE GREATER OR LESS THAN THE QUANTITIES LISTED ON THIS SCHEDULE OR ANYWHERE ELSE ON THE DRAWINGS OR IN THE SPECIFICATIONS. NOT ALL THE MATERIALS TO BE REMOVED ARE NOTED HERE. REFER TO THE PLANS AND BE RESPONSIBLE FOR REMOVING ALL MATERIALS THAT SHALL BE REFERRED TO HEREIN KEY ON DRAWING NUMBER A-002. REFER TO DRAWING NUMBER A-104 FOR: HVAC, PLUMBING AND ELECTRIC MATERIALS QUANTITIES.

ANDREW M. CUCINO
 Governor
 ROYANN M. DESITTO
 Commissioner
 JAMES S. WALTERS, AIA
 Deputy Commissioner, Design and Construction

KEY PLAN

WARNING:
 THE ATTRIBUTION OF THIS MATERIAL, IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPETENT PROFESSIONAL, IS ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.

REGISTERED ARCHITECT
 STATE OF NEW YORK
 DAVID A. WATSON
 No. 026831

CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035

CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 1/26/2012"

FINAL	BID DOCUMENT
10/3/2012	

PROJECT NUMBER: **Q0763 - C**

DESIGNED BY: DWM

DRAWN BY: SL, DWM

FIELD CHECK: GSS

APPROVED: DWM

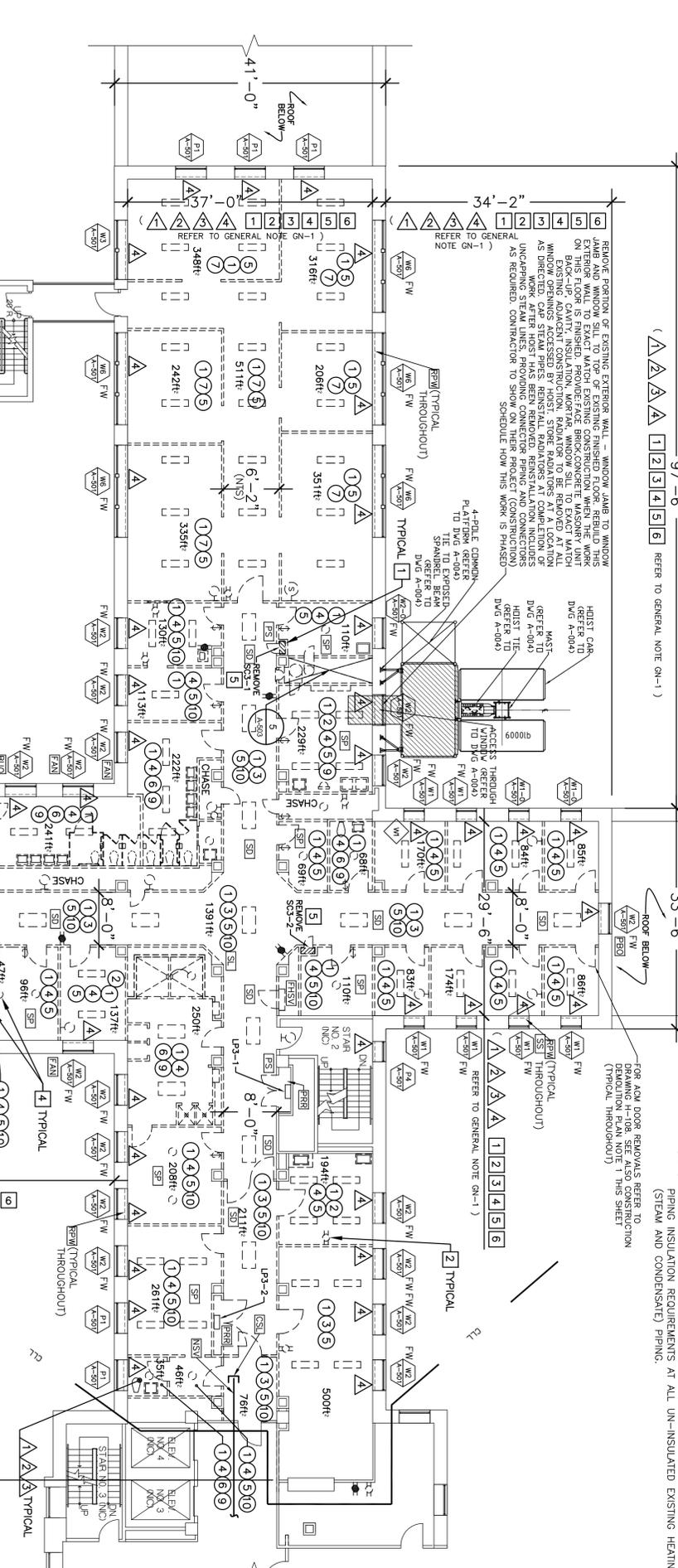
SHEET TITLE:
 FOURTH FLOOR
 DEMOLITION AND
 WINDOW INSTALLATION PLAN

DRAWING NUMBER:
A-105

SHEET 31 OF 56

MISCELLANEOUS SYMBOLS/NOTES:

- AC AIR CONDITIONING UNIT AT WINDOW, EXISTING - REMOVE AND TURN OVER TO OWH.
- SPRINKLERS, EXISTING AT ROOMS DERIVED THIS - REMOVE. REFER TO NOTE 08 ON DRAWING NUMBER A-002.
- BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- FAN, EXISTING, MOUNTED IN WINDOW - REMOVE.
- SECURITY SCREEN, EXISTING STEEL SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- INSECT SCREEN WITH 2x4 WOOD FRAME, EXISTING - REMOVE.
- PLYWOOD BOX OUT - REMOVE.
- SMOKE DETECTOR - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- SPEAKER/STROBE LIGHT - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- PULL STATION - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002



GENERAL NOTES:

- GN-1 FIRST FLOOR THROUGH TENTH FLOORS ARE CUT DEMOLITION - FOR THE FULL WORK AREA INDICATED AND FOR THE FULL HEIGHT. FLOOR TO FLOOR PER EACH FLOOR - UNLESS OTHERWISE SHOWN OR INDICATED.
- CONSTRUCTION DEMOLITION PLAN NOTE INDICATORS (Ⓢ) ARE SHOWN ON FLOOR PLANS AS THEY ARE MORE SPECIFIC PER ROOM/AREA. YET WHERE APPLICABLE, ALL THESE CONSTRUCTION DEMOLITION REMOVALS APPLY TO ALL INDICATED WORK AREAS THROUGHOUT THE FIRST THROUGH TENTH FLOORS. THESE REMOVALS AT NO ADDITIONAL COST TO THE STATE. ALL ABANDONED MECHANICAL DEMOLITION PLAN NOTES AND ALL ELECTRICAL DEMOLITION PLAN NOTES APPLY THROUGHOUT THE AREAS OF WORK THROUGHOUT THE FIRST FLOOR THROUGH TENTH FLOORS. ALL THESE ABANDONED MECHANICAL DEMOLITION PLAN NOTES AND ALL ELECTRICAL DEMOLITION DEMOLITION ITEMS SHALL BE REMOVED IN THEIR ENTIRETIES AT THE FIRST FLOOR THROUGH TENTH FLOORS - FOR THE FULL WORK AREA INDICATED AND FOR THE FULL HEIGHT. FLOOR TO FLOOR PER EACH FLOOR - UNLESS OTHERWISE SHOWN OR INDICATED - AT NO ADDITIONAL COST TO THE STATE. THIS WORK INCLUDES ALL EXISTING FLOORS, WALLS, CEILING, DOORS, CHASSES AND/OR EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ROOMS.
- GN-2 REFER TO GENERAL NOTE A ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UN-INSULATED EXISTING DOMESTIC HOT AND COLD PIPE AND FITTINGS.
- GN-3 REFER TO GENERAL NOTE B ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UN-INSULATED EXISTING (STEAM AND CONDENSATE) PIPING.

CONSTRUCTION DEMOLITION PLAN NOTES:

- 1 REMOVE EXISTING STEEL DOORS, STEEL FRAMES AND RELATED HARDWARE. (COORDINATE DOOR REMOVAL WITH ASBESTOS ABATEMENT WORK)
- 2 REMOVE EXISTING FIXED FURNITURE AND FIXED ACCESSORIES (CLOSETS, SHELVING, CASEWORK, COUNTERTOPS, WALL MOUNTED CABINETS, MIRRORS, DISPENSERS, BULLETIN BOARDS, MARBLE TOILET PARTITIONS, MARBLE SCREEN-WALLS/PARTITIONS, ETC.). TYPICAL THROUGHOUT ALL SPACES AT DEMOLITION WORK, WHETHER CALLED FOR OR NOT.
- 3 REMOVE EXISTING ACOUSTIC CEILING TILES, GRID SYSTEM AND SUPPORTS.
- 4 REMOVE EXISTING PLASTER CEILING, LATH, BLACK IRON AND SUPPORTS.
- 5 REMOVE EXISTING CMU PARTITION WITH PLASTER WALL FINISH, STEEL DOOR(S), STEEL FRAME(S) AND RELATED HARDWARE. REMOVE ALL ACCESSORIES ATTACHED TO LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, ANY AND ALL ACCESSORIES, ETC.
- 6 REMOVE EXISTING CMU PARTITION WITH CERAMIC TILE WALL FINISH AND/OR PLASTER WALL FINISH, STEEL DOOR(S) & FRAME(S) AND HARDWARE, ETC. EXISTING WALLS, SUCH AS BUT NOT LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, AND ALL ACCESSORIES, ETC.
- 7 REMOVE EXISTING GYPSUM WALL BOARD PARTITIONS, FRAMING AND DOOR FRAMES.
- 8 NOT USED.
- 9 REMOVE EXISTING CERAMIC TILE FLOOR FINISH.
- 10 REMOVAL OF EXISTING VINYL ASBESTOS TILE (VAT). REFER TO ASBESTOS REMOVAL DRAWINGS.

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL EXISTING PLUMBING FIXTURES AND PARTITIONS.
- 2 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK AND ACCESSORIES AND CAP AT MAIN.
- 3 REMOVE VENT, WASTE AND ALL HOT AND COLD DOMESTIC WATER LINES BACK TO RISER IN CHASE/WALL AND CAP.
- 4 EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

ABANDONED ELECTRICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL ABANDONED RACKS, BOXES, SUPPORTS, ETC. WHERE EXPLODED (INCLUDING THOSE LOCATED ABOVE EXISTING SUSPENDED CEILING), AND WHERE THEY WILL INTERFERE WITH WORK OF FUTURE REHAB PROJECT. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE.
- 2 DISCONNECT AND REMOVE ALL EXISTING CONDUITS, CONDUCTORS, RECEPTACLES, ETC. AS REQUIRED BACK TO EXISTING SOURCE.
- 3 DISCONNECT AND REMOVE EXISTING SOUND SYSTEM DEVICES(S) CONSOLE.
- 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE(S), SWITCHES AND CIRCUITRY BACK TO POWER PANEL.
- 5 DISCONNECT AND REMOVE TELEPHONE AND ALL WIRING CONDUIT ASSOCIATED BACK TO SOURCE.
- 6 DISCONNECT PANEL TO BE REMOVED. PANELBOARDS AND RISERS SERVING PANELBOARDS ARE TO REMAIN.

GENERAL NOTES - ELECTRICAL:

- A. CONTRACTOR SHALL IDENTIFY AND MAINTAIN THE CIRCUITS TO REMAIN ACTIVE:
- 1. STAIRWAY LIGHTING
- 2. LIGHTING AND POWER IN ELEVATOR CORE AREA
- 3. LIGHTING AND POWER OUTSIDE WORK AREA
- B. SOURCE FOR TEMPORARY LIGHT AND POWER IS FROM THE EXISTING "PANELS AND RISERS TO REMAIN"

WINDOW NOTES:

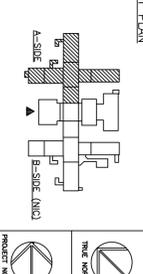
FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OWH)

MATERIAL	QUANTITY
ACOUSTIC CEILING TILES	875SF
PLASTER CEILING	1,350SF
GYPSUM BOARD WALLS	960SF
CERAMIC TILE FLOOR	440SF

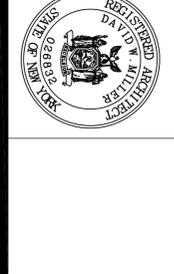
IMPORTANT NOTE: ALL QUANTITIES LISTED ON THE DRAWINGS ARE ESTIMATES AND ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL MATERIALS SHOWN GREATER THAN BE REMOVED. THE CONTRACTOR SHALL VERIFY THIS SCHEDULE OR ANYWHERE ELSE ON THE DRAWINGS OR THE PLAN NOTES ARE NOTED HERE. REFER TO THE PLANS AND REMOVED. REFER TO THE MATERIALS THAT SHALL BE REMOVED. REFER TO THE DRAWING NUMBER A-104 FOR PLUMBING AND ELECTRIC MATERIALS QUANTITIES.



ANDREW M. CIOLOMO
 Governor
 ROYANN M. DESISTO
 Commissioner
 JAMES W. HANNA, A.A.A.
 Deputy Commissioner, Design and Construction



WARNING:
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CONSTRUCTION

ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035

CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

MARK	DATE	DESCRIPTION
FINAL	10/3/2012	BID DOCUMENT

PROJECT NUMBER: **Q0763 - C**
 DESIGNED BY: DWM
 DRAWN BY: SL, DWM
 DRAWN BY: GOS
 FIELD CHECK: GOS
 APPROVED: DWM

SEVENTH FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN

DRAWING NUMBER: **A-108**
 SHEET 34 OF 56

MISCELLANEOUS SYMBOLS/NOTES:

- AC AIR CONDITIONING UNIT AT WINDOW, EXISTING - REMOVE AND TURN OVER TO OWH.
- SPRINKLERS, EXISTING AT ROOMS DERIVED THIS - REMOVE. REFER TO NOTE 08 ON DRAWING NUMBER A-002.
- BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- FAN, EXISTING, MOUNTED IN WINDOW - REMOVE.
- SECURITY SCREEN, EXISTING STEEL SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- INSECT SCREEN WITH 2x4 WOOD FRAME, EXISTING - REMOVE.
- PLYWOOD BOX OUT - REMOVE.
- SMOKE DETECTOR - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- SPEAKER/STROBE LIGHT - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- PULL STATION - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002

- PER PANELS AND RISERS TO REMAIN
- EXISTING FIRE HOSE STANDPIPE & VALVE TO REMAIN FOR TEMPORARY STANDPIPE
- CAP EXISTING SPRINKLER LINE
- NO SPRINKLER VALVE THIS LOCATION

AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR WHTHE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3" THICK CMU WITH PLASTER FINISH (4" TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WHTHE INCLUDING ALL EXISTING BASE MATERIAL WHERE APPLICABLE FROM EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB FROM TOP OF EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB. REMOVE ALL EXISTING WINDOW STOPS, SECURITY RADATOR COVER ASSEMBLIES IN THEIR ENTIRETY. REMOVE ALL EXISTING WINDOW STOPS. AT ALL EXISTING WINDOW JAMB RETURNS: REMOVE THOSE PORTIONS OF THE EXISTING WINDOW WHTHE OF EXISTING EXTERIOR WALL ASSEMBLY CONSISTING OF CMU'S AND PLASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS: A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

REMOVE PORTION OF EXISTING EXTERIOR WALL - WINDOW JAMB TO WINDOW JAMB AND WINDOW SILL TO TOP OF EXISTING FINISHED FLOOR. REBUILD THIS ON THIS FLOOR IS FINISHED. THROUGH FACE BRICK/CONCRETE MASONRY UNIT BACK-UP. CAVITY, INSULATION, MOISTURE, WINDOW SILL TO EXACT MATCH WINDOW AND EXTERIOR FINISH. PORTION TO BE REMOVED AT ALL AS DIRECTED. CAP STEAM PIPES, REINSTALL RADATORS AT COMPLETION OF WORK. AFTER HOST HAS BEEN REMOVED, REINSTALLATION INCLUDES UNAPPROVED WORK. CONTRACTOR TO SHOW ON THEIR PROJECT CONSTRUCTION SCHEDULE HOW THIS WORK IS PHASED

4-PHASE COMMON PLASTER GYPSUM SPANREL BRAN DUNE A-004
 GREYER TO DVG A-004
 MAST GREYER TO DVG A-004
 MAST GREYER TO DVG A-004

GENERAL NOTES:

- GN-1 FIRST FLOOR THROUGH TENTH FLOORS ARE OUT DEMOLITION - FOR THE PER EACH FLOOR AND UNLESS OTHERWISE SHOWN OR INDICATED CONSTRUCTION DEMOLITION PLAN NOTE INDICATORS (Ⓣ) ARE SHOWN ON FLOOR PLANS AS THEY ARE MORE SPECIFIC PER ROOM/AREA. YET, WHERE APPLICABLE, ALL THESE CONSTRUCTION DEMOLITION REMOVALS APPLY TO ALL THE INDICATED WORK AREAS THROUGHOUT THE FIRST THROUGH TENTH FLOORS. ALL THE REMOVALS IN THESE AREAS ARE CLEARLY CALLED OUT THESE REMOVALS ARE THE CONSTRUCTION SHALL PREPARED MECHANICAL DEMOLITION PLAN NOTES AND ALL ELECTRICAL DEMOLITION PLAN NOTES APPLY THROUGHOUT THE AREAS OF WORK THROUGHOUT THE FIRST FLOOR THROUGH TENTH FLOORS. ALL THESE ABANDONED MECHANICAL DEMOLITION ITEMS AND ALL THESE ABANDONED ELECTRICAL DEMOLITION ITEMS SHALL BE MOVED FROM THE FIRST FLOOR THROUGH TENTH FLOORS TO THE FULL HEIGHT FLOOR TO FLOOR PER EACH FLOOR - UNLESS OTHERWISE SHOWN OR INDICATED - AT NO ADDITIONAL COST TO THE STATE. THIS WORK INCLUDES ALL EXISTING FLOORS, WALLS, CEILING, DOORS, ETC. ASSOCIATED WITH THE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ROOMS.
- REFER TO GENERAL NOTE A ON DRAWING Nos. H-101 THRU H-117 FOR MECHANICAL ROOMS.
- REFER TO GENERAL NOTE B ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UN-INSULATED EXISTING DOMESTIC HOT AND COLD PIPES AND FITTINGS.
- GN-2 REFER TO GENERAL NOTE A ON DRAWING Nos. H-101 THRU H-117 FOR MECHANICAL ROOMS.
- GN-3 REFER TO GENERAL NOTE B ON DRAWING Nos. H-101 THRU H-117 FOR PIPING INSULATION REQUIREMENTS AT ALL UN-INSULATED EXISTING DOMESTIC HOT AND COLD PIPES AND FITTINGS.

CONSTRUCTION DEMOLITION PLAN NOTES:

- 1 REMOVE EXISTING STEEL DOORS, STEEL FRAMES AND RELATED HARDWARE. (COORDINATE DOOR REMOVAL WITH ASBESTOS ABATEMENT WORK)
- 2 REMOVE EXISTING FIXED FURNITURE AND FIXED ACCESSORIES (CLOSETS, SHELVING, CASEWORK, COUNTERTOPS, WALL MOUNTED CABINETS, MIRRORS, SCREEN-WALLS/PARTITIONS, ETC.). TYPICAL THROUGHOUT ALL SPACES AT DEMOLITION WORK, WHETHER CALLED FOR OR NOT.
- 3 REMOVE EXISTING ACOUSTIC CEILING TILES, GRID SYSTEM AND SUPPORTS.
- 4 REMOVE EXISTING PLASTER CEILING, LATH, BLACK IRON AND SUPPORTS.
- 5 REMOVE EXISTING CMU PARTITION WITH PLASTER WALL FINISH, STEEL DOOR(S), STEEL FRAME(S) AND RELATED HARDWARE. REMOVE ALL ACCESSORIES ATTACHED TO LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, ANY AND ALL ACCESSORIES, ETC.
- 6 REMOVE EXISTING CMU PARTITION WITH CERAMIC TILE WALL FINISH AND/OR PLASTER WALL FINISH, STEEL DOOR(S) & FRAME(S) AND HARDWARE, ETC. EXISTING WALLS, SUCH AS BUT NOT LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, AND ALL ACCESSORIES, ETC.
- 7 REMOVE EXISTING GYPSUM WALL BOARD PARTITIONS, FRAMING AND DOOR FRAMES.
- 8 NOT USED.
- 9 REMOVE EXISTING CERAMIC TILE FLOOR FINISH.
- 10 REMOVAL OF EXISTING VINYL ASBESTOS TILE (VAT), REFER TO ASBESTOS REMOVAL DRAWINGS.

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL EXISTING PLUMBING FIXTURES AND PARTITIONS.
- 2 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK AND ACCESSORIES AND CAP AT WALL.
- 3 REMOVE VENT, WASTE AND ALL HOT AND COLD DOMESTIC WATER LINES BACK TO RISER IN CHASE/WALL AND CAP.
- 4 EXISTING UNIT HEATERS AND RADATORS TO REMAIN FOR TEMPORARY HEAT.

ABANDONED ELECTRICAL DEMOLITION PLAN NOTES:

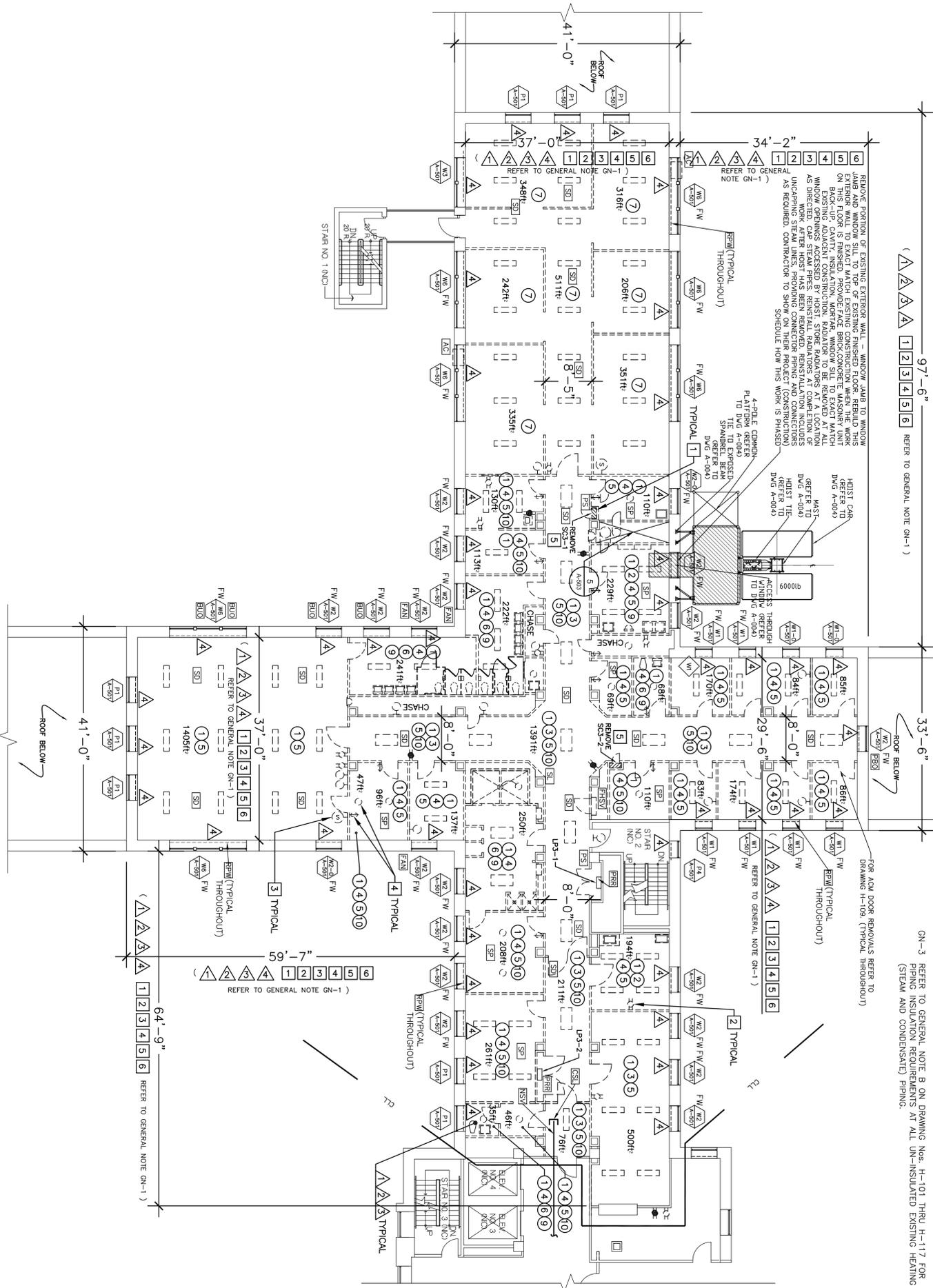
- 1 REMOVE ALL ABANDONED RACKS, BOXES, SUPPORTS, ETC. WHERE EXPLODED (INCLUDING THOSE LOCATED ABOVE EXISTING SUSPENDED CEILING) AND WHERE THEY WILL INTERFERE WITH WORK OF FUTURE REHAB PROJECT. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE.
- 2 DISCONNECT AND REMOVE ALL EXISTING CONDUITS, CONDUCTORS, RECEPTACLES, ETC. AS REQUIRED BACK TO EXISTING SOURCE.
- 3 DISCONNECT AND REMOVE EXISTING SOUND SYSTEM DEVICES(S) CONSOLE.
- 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE(S), SWITCHES AND CIRCUITRY BACK TO POWER PANEL.
- 5 DISCONNECT AND REMOVE TELEPHONE AND ALL WIRING CONDUIT ASSOCIATED BACK TO SOURCE.
- 6 DISCONNECT PANEL TO BE REMOVED. PANELBOARDS AND RISERS SERVING PANELBOARDS ARE TO REMAIN.

GENERAL NOTES - ELECTRICAL:

- A. CONTRACTOR SHALL IDENTIFY AND MAINTAIN THE CIRCUITS TO REMAIN ACTIVE:
- 1. STAIRWAY LIGHTING
- 2. LIGHTING AND POWER IN ELEVATOR CORE AREA
- 3. LIGHTING AND POWER OUTSIDE WORK AREA
- B. SOURCE FOR TEMPORARY LIGHT AND POWER IS FROM THE EXISTING "PANELS AND RISERS TO REMAIN PER"

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OWH)



EIGHTH FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN
 3/32" = 1' = 0"

MATERIAL	QUANTITY
ACOUSTIC CEILING TILES	875SF
PLASTER CEILING	1,350SF
GYPSUM BOARD WALLS	960SF
CERAMIC TILE FLOOR	440SF

IMPORTANT NOTE: ALL QUANTITIES LISTED ON THE DRAWINGS ARE ESTIMATES AND ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL MATERIALS SHOWN GREATER THAN THE REMOVED MATERIALS LISTED ON THIS SCHEDULE OR ANYWHERE ELSE ON THE DRAWINGS OR IN THE SPECIFICATIONS. NOT ALL THE MATERIALS TO BE REMOVED ARE NOTED HERE. REFER TO THE PLANS AND THE PLAN NOTES FOR ALL THE MATERIALS THAT SHALL BE REMOVED. REFER TO THE DRAWING NUMBER "A" DRAWING AND REFER TO DRAWING NUMBER A-104 FOR HVAC, PLUMBING AND ELECTRIC MATERIALS QUANTITIES.

OWS
 NY'S OFFICE OF GENERAL SERVICES
 Andrew M. Cuomo
 Governor
 ROYANN M. DESTITO
 Commissioner
 JAMES S. WALTERS, AIA
 Director
 Design and Construction
 CONSULTANT

KEY PLAN

WARNING:
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CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035

CLIENT: OFFICE OF MENTAL HEALTH

"REVISED DRAWING 11/26/2012"

EIGHTH FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN

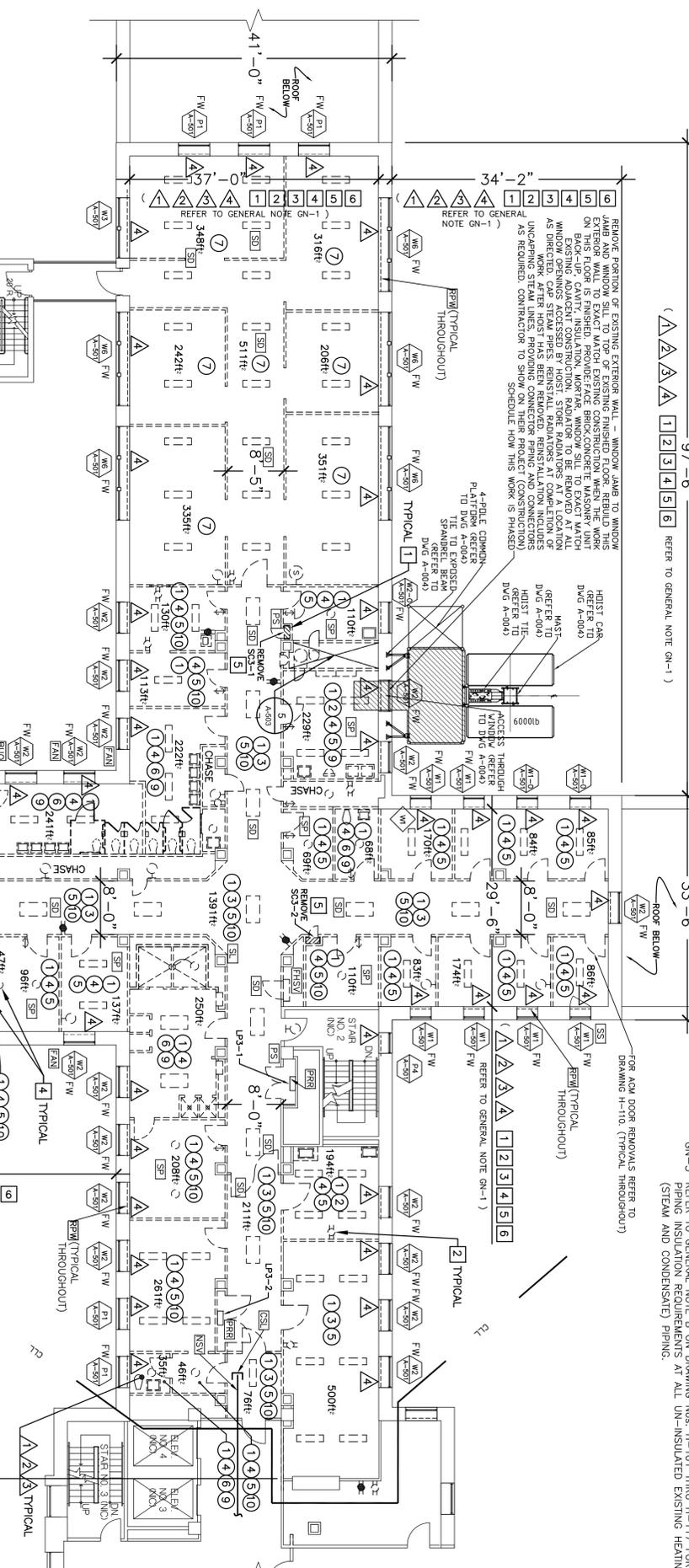
DRAWING NUMBER: A-109

SHEET 35 OF 56

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	SL	
FIELD CHECK:	GSS	
APPROVED:	DWM	

MISCELLANEOUS SYMBOLS/NOTES:

- AC AIR CONDITIONING UNIT AT WINDOW, EXISTING - REMOVE AND TURN OVER TO OWH.
- SPRINKLERS, EXISTING AT ROOMS DERIVED THIS - REMOVE. REFER TO NOTE 08 ON DRAWING NUMBER A-002.
- BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- FAN, EXISTING, MOUNTED IN WINDOW - REMOVE.
- SECURITY SCREEN, EXISTING STEEL SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- INSECT SCREEN WITH 2x4 WOOD FRAME, EXISTING - REMOVE.
- PLYWOOD BOX OUT - REMOVE.
- SMOKE DETECTOR - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- SPEAKER/STROBE LIGHT - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- PULL STATION - RELOCATE, UNLESS OTHERWISE DIRECTED. REFER TO DETAIL 6/A-503 AND NOTE 08 ON DRAWING A-002
- PANELS AND ROSES TO REMAIN
- EXISTING FIRE HOSE STANDPIPE & VALVE TO REMAIN FOR TEMPORARY STANDPIPE
- CAP EXISTING SPRINKLER LINE
- NO SPRINKLER VALVE THIS LOCATION
- AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR WHTHE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3x4 THICK CMU WITH PLASTER FINISH (4x TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WHTHE INCLUDING ALL EXISTING BASE MATERIAL WHERE APPLICABLE FROM EXISTING WINDOW JAMB TO EXISTING WINDOW TOP AND EXTERIOR WALL ASSEMBLY. REMOVE ALL EXISTING WINDOW JAMB AND EXTERIOR WALL ASSEMBLY. REMOVE ALL EXISTING WINDOW STUDS, SECURITY RADIATOR COVER ASSEMBLIES IN THEIR ENTIRETY. REMOVE THOSE PORTIONS OF THE EXISTING INTERIOR WHTHE OF EXISTING EXTERIOR WALL ASSEMBLY CONSISTING OF CMU'S AND PLASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS: A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.



GENERAL NOTES:

- GN-1 FIRST FLOOR THROUGH TENTH FLOORS ARE CUT DEMOLITION - FOR THE FULL WORK AREA - UNLESS OTHERWISE SHOWN OR INDICATED. CONSTRUCTION DEMOLITION PLAN NOTE INDICATORS (Ⓣ) ARE SHOWN ON FLOOR PLANS AS THEY ARE MORE SPECIFIC PER ROOM/AREA. YET WHERE APPLICABLE, ALL THESE CONSTRUCTION DEMOLITION REMOVALS APPLY TO ALL THE INDICATED WORK AREAS THROUGHOUT THE FIRST THROUGH TENTH FLOORS. THESE REMOVALS ARE TO BE PERFORMED IN ACCORDANCE WITH THE DEMOLITION PLAN NOTES AND ALL THE ABANDONED ELECTRICAL, MECHANICAL, PLUMBING, AND ALL ELECTRICAL DEMOLITION THE FIRST FLOOR THROUGH TENTH FLOORS. ALL THESE ABANDONED ELECTRICAL, MECHANICAL, PLUMBING, AND ALL ELECTRICAL DEMOLITION THE FIRST FLOOR THROUGH TENTH FLOORS - FOR THE FULL WORK AREA INDICATED AND FOR THE FULL HEIGHT, FLOOR TO FLOOR PER EACH FLOOR - UNLESS OTHERWISE SHOWN OR INDICATED - AT NO ADDITIONAL COST TO THE STATE. THIS WORK INCLUDES ALL EXISTING FLOORS, WALLS, CEILINGS, DOORS, ETC. ASSOCIATED WITH THE EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ROOMS AND/OR EXISTING PLUMBING, ELECTRICAL AND MECHANICAL ROOMS.
- GN-2 REFER TO GENERAL NOTE A ON DRAWING Nos. H-101 THRU H-117 FOR PLUMBING INSULATION REPAIRS AT ALL UNINSULATED EXISTING DOMESTIC HOT AND COLD PIPE AND FITTINGS.
- GN-3 REFER TO GENERAL NOTE B ON DRAWING Nos. H-101 THRU H-117 FOR PLUMBING INSULATION REPAIRS AT ALL UNINSULATED EXISTING STEAM AND CONDENSATE PIPING.

CONSTRUCTION DEMOLITION PLAN NOTES:

- 1 REMOVE EXISTING STEEL DOORS, STEEL FRAMES AND RELATED HARDWARE. (COORDINATE DOOR REMOVAL WITH ASBESTOS ABATEMENT WORK)
- 2 REMOVE EXISTING FIXED FURNITURE AND FIXED ACCESSORIES (CLOSETS, SHELVING, CASEWORK, COUNTERTOPS, WALL MOUNTED CABINETS, MIRRORS, SCREEN-WALLS/PARTITIONS, ETC.). TYPICAL THROUGHOUT ALL SPACES AT DEMOLITION WORK, WHETHER CEILING TILES, GRID SYSTEM AND SUPPORTS.
- 3 REMOVE EXISTING ACOUSTIC CEILING TILES, GRID SYSTEM AND SUPPORTS.
- 4 REMOVE EXISTING PLASTER CEILING, LATH, BLACK IRON AND SUPPORTS.
- 5 REMOVE EXISTING CMU PARTITION WITH PLASTER WALL FINISH, STEEL DOORS(S), STEEL FRAME(S) AND RELATED HARDWARE. REMOVE ALL ACCESSORIES ATTACHED TO LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, ANY AND ALL ACCESSORIES, ETC.
- 6 REMOVE EXISTING CMU PARTITION WITH CERAMIC TILE WALL FINISH AND/OR PLASTER WALL FINISH, STEEL DOORS(S) & FRAME(S) AND HARDWARE, ETC. EXISTING WALLS, SUCH AS BUT NOT LIMITED TO: WALL PROTECTION/CHAIR RAILS, GRAB BARS, AND ALL ACCESSORIES, ETC.
- 7 REMOVE EXISTING GYPSUM WALL BOARD PARTITIONS, FRAMING AND DOOR FRAMES.
- 8 NOT USED.
- 9 REMOVE EXISTING CERAMIC TILE FLOOR FINISH.
- 10 REMOVAL OF EXISTING VINYL ASBESTOS TILE (VAT), REFER TO ASBESTOS REMOVAL DRAWINGS.

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL EXISTING PLUMBING FIXTURES AND PARTITIONS.
- 2 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK AND ACCESSORIES AND CAP AT MAIN.
- 3 REMOVE VENT, WASTE AND ALL HOT AND COLD DOMESTIC WATER LINES BACK TO RISER IN CHASE/WALL AND CAP.
- 4 EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

ABANDONED ELECTRICAL DEMOLITION PLAN NOTES:

- 1 REMOVE ALL ABANDONED RACKS, BOXES, SUPPORTS, ETC. WHERE EXPOSED (INCLUDING THOSE LOCATED ABOVE EXISTING SUSPENDED CEILING) AND WHERE THEY WILL INTERFERE WITH WORK OF FUTURE REHAB PROJECT. COORDINATE WITH THE DIRECTOR'S REPRESENTATIVE.
- 2 DISCONNECT AND REMOVE ALL EXISTING CONDUITS, CONDUCTORS, RECEPTACLES, ETC. AS REQUIRED BACK TO EXISTING SOURCE.
- 3 DISCONNECT AND REMOVE EXISTING SOUND SYSTEM DEVICES(S) CONSOLE.
- 4 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE(S), SWITCHES AND CIRCUITRY BACK TO POWER PANEL.
- 5 DISCONNECT AND REMOVE TELEPHONE AND ALL WIRING CONDUIT ASSOCIATED BACK TO SOURCE.
- 6 DISCONNECT PANEL, TO BE REMOVED. PANELBOARDS AND RISERS SERVING PANELBOARDS ARE TO REMAIN.

GENERAL NOTES - ELECTRICAL:

- A. CONTRACTOR SHALL IDENTIFY AND MAINTAIN THE CIRCUITS TO REMAIN ACTIVE:
- 1. STAIRWAY LIGHTING
- 2. LIGHTING AND POWER IN ELEVATOR CORE AREA
- 3. LIGHTING AND POWER OUTSIDE WORK AREA
- B. SOURCE FOR TEMPORARY LIGHT AND POWER IS FROM THE EXISTING "PANELS AND RISERS TO REMAIN".

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OWH)

MATERIAL	QUANTITY
ACOUSTIC CEILING TILES	875SF
PLASTER CEILING	1,350SF
GYPSUM BOARD WALLS	960SF
CERAMIC TILE FLOOR	440SF

IMPORTANT NOTE: ALL QUANTITIES LISTED ON THE DRAWINGS ARE ESTIMATES AND ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL MATERIALS SHOWN GREATER THAN THE REMOVED MATERIALS LISTED ON THIS SCHEDULE OR ANYWHERE ELSE ON THE DRAWINGS OR IN THE SPECIFICATIONS. NOT ALL THE MATERIALS TO BE REMOVED ARE NOTED HERE. REFER TO THE PLANS AND THE PLAN NOTES FOR ALL THE MATERIALS THAT SHALL BE REMOVED. REFER TO THE DRAWING NUMBER A-104 FOR PLUMBING AND ELECTRICAL MATERIALS QUANTITIES.

KEY PLAN

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CONTRACT:
CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARDS ISLAND, NY 10035

CLIENT:
 OFFICE OF MENTAL HEALTH

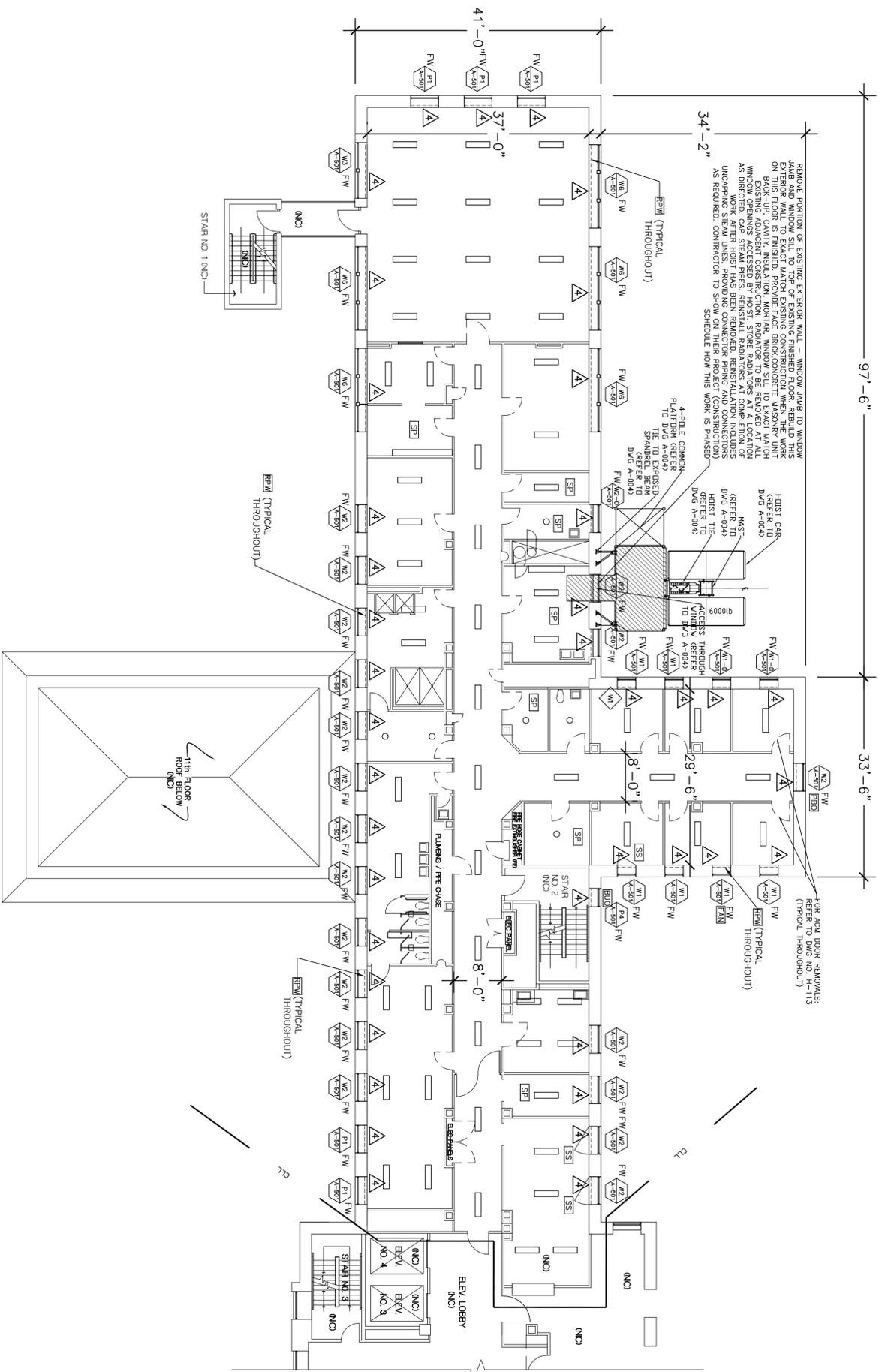
"REVISED DRAWING 1/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	SL	
FIELD CHECK:	GOS	
APPROVED:	DWM	

SHEET TITLE:
 NINTH FLOOR
 DEMOLITION AND
 WINDOW INSTALLATION PLAN

DRAWING NUMBER:
A-110

SHEET 36 OF 56



TWELFTH FLOOR WINDOW INSTALLATION PLAN
 3/32" = 1'-0"

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

△ EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

MISCELLANEOUS SYMBOLS/NOTES:

- [SP] SPRINKLERS, EXISTING AT ROOMS DENOTED THUS - SHALL REMAIN UNDISTURBED.
- [BO] BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- [FAN] FAN, EXISTING, MOUNTED IN WINDOW - REMOVE.
- [SS] SECURITY SCREEN, EXISTING STEEL SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- [BOB] PLYWOOD BOX OUT - REMOVE.

[RM] AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE; REMOVE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3"± THICK CMU WITH PLASTER FINISH (4"± TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WYTHE ASSEMBLY (INCLUDING ALL EXISTING BASE MATERIAL WHERE APPLICABLE) FROM EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB, FROM EXISTING FINISHED FLOOR TO EXISTING FINISHED FLOOR ABOVE. REMOVE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY AT ALL EXISTING WINDOW JAMB RETURNS; REMOVE THOSE PORTIONS OF THE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY CONSISTING OF CMU'S AND PLASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OMH)

CONSTRUCTION

CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	SL	
FIELD CHECK:	GOS	
APPROVED:	DWM	

TWELFTH FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN

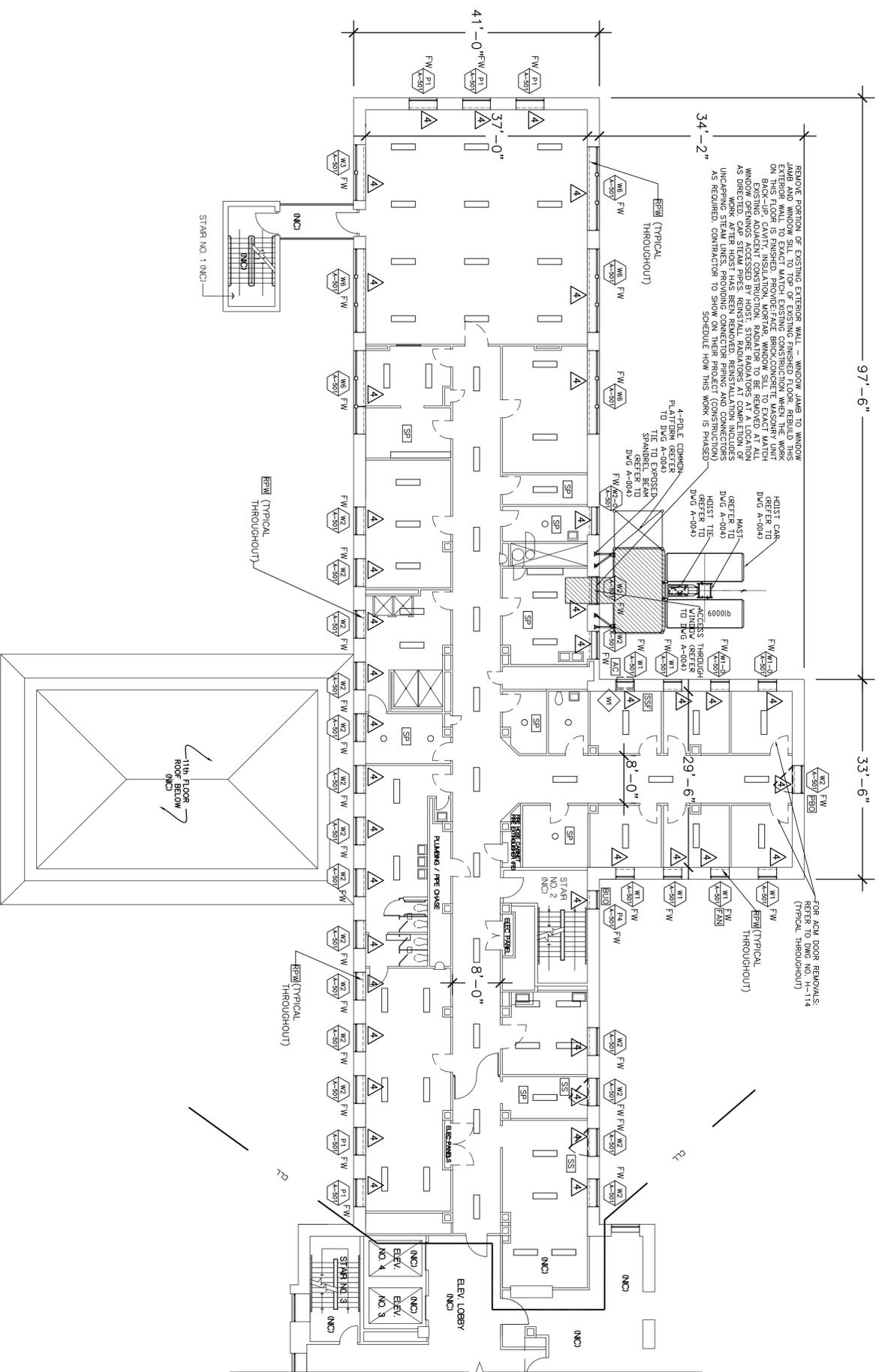
OCS
 NYS OFFICE OF GENERAL SERVICES
 Setting New York
 ANDREW M. CIOMO
 Governor
 ROYANN M. DESTITO
 Commissioner
 JAMES CANTIERE, AIA
 Deputy Commissioner, Design and Construction
 CONSULTANT

RECEIVED ARCHITECT
 DAVID W. MILLER
 STATE OF NEW YORK
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 NO. 028838

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KEY PLAN

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THIRTEENTH FLOOR WINDOW INSTALLATION PLAN
 3/32" = 1'-0"

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

△ EXISTING UNIT HEATERS AND RADATORS TO REMAIN FOR TEMPORARY HEAT.

MISCELLANEOUS SYMBOLS/NOTES:

- [SP] SPRINKLERS, EXISTING AT ROOMS DENOTED THUS - SHALL REMAIN UNDISTURBED.
- [EUD] BOARD UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- [FAN] FAN, EXISTING, MOUNTED IN WINDOW - REMOVE.
- [SS] SECURITY SCREEN, EXISTING STEEL SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- [SSF] SECURITY SCREEN FRAME ONLY, EXISTING - REMOVE. NO SECURITY SCREENS HERE.

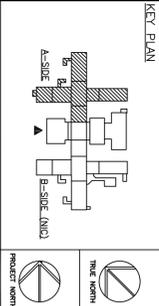
[FW] AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3-1/2" THICK CMU WITH PLASTER FINISH (4-1/2" TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WYTHE ASSEMBLY INCLUDING EXISTING BASE PLASTER. WHERE APPLICABLE REMOVE EXISTING WINDOW BASE PLASTER. REMOVE ALL OF THE EXISTING STEEL SECURITY RADATOR COVER ASSEMBLIES IN THEIR ENTIRETIES. REMOVE ALL EXISTING WINDOW STOOLS. AT ALL EXISTING WINDOW JAMB RETURNS: REMOVE THOSE PORTIONS OF THE EXISTING INTERIOR WYTHE OF PLASTER (EXISTING EXTERIOR WALL TO SSEMBL CONSISTING OF CMU'S AND PLASTER CLIPS. SEE ALSO DRAWING NUMBERS A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OMI)



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 Setting New York
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 ROYANN M. DESTITO
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CONSTRUCTION

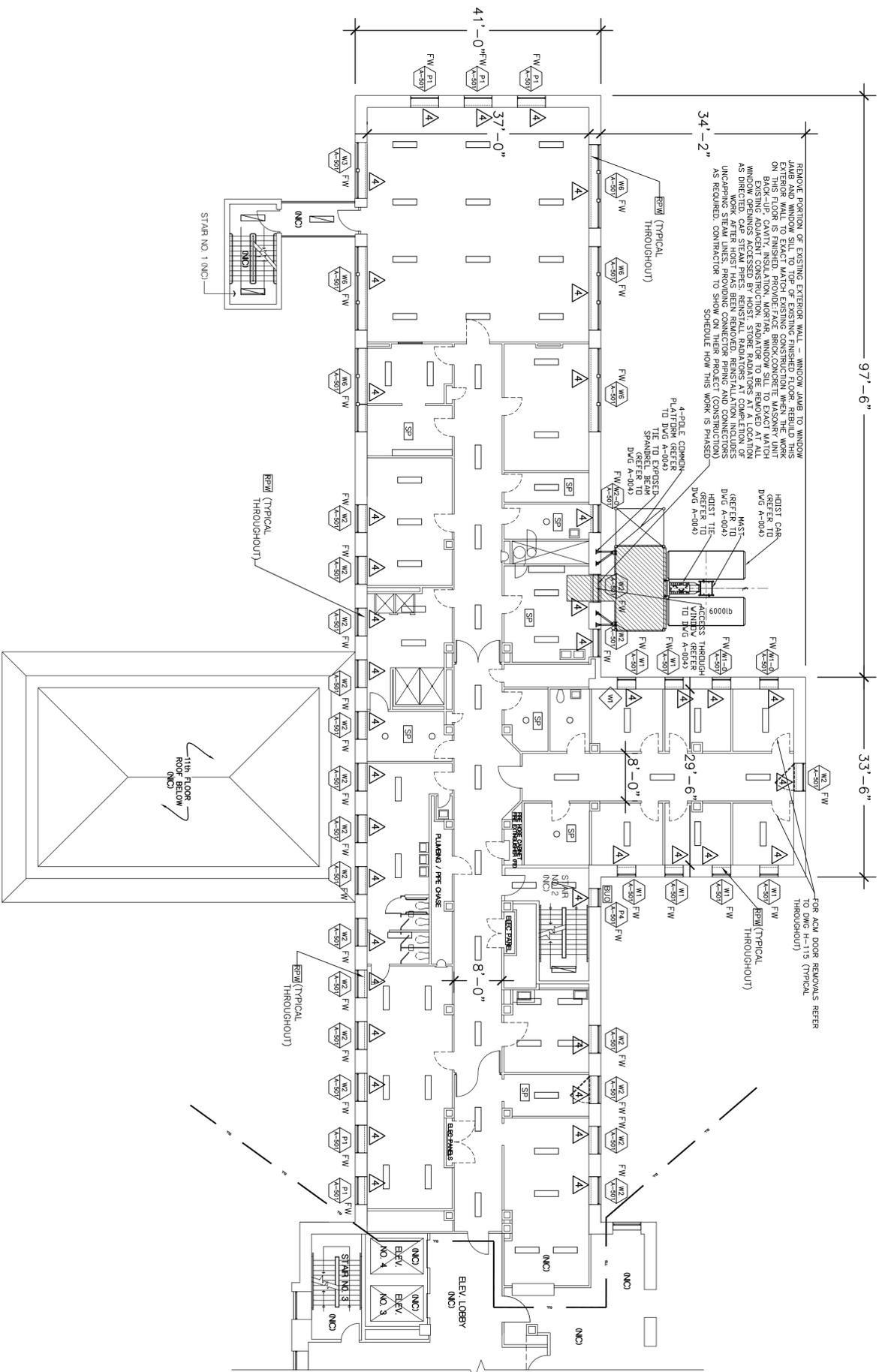
TITLE: ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 LOCATION: MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT: OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER:	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	SL	
FIELD CHECK:	GOS	
APPROVED:	DWM	
SHEET TITLE:	THIRTEENTH FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN	

DRAWING NUMBER: A-114

SHEET 40 OF 56



FOURTEENTH FLOOR WINDOW INSTALLATION PLAN
 3/28/12 = 1/0"

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

△ EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

MISCELLANEOUS SYMBOLS/NOTES:

- SPRINKLERS EXISTING AT ROOMS DENOTED THUS - SHALL REMAIN UNDISTURBED.
- BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.
- AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT- BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR W/TH OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3/4" THICK CMU WITH EXTERIOR FINISH (4" STUCCO THICKNESS) ALL REMOVE. ALSO REMOVE INTERIOR FINISH (4" STUCCO THICKNESS) ALL REMOVE. ALSO REMOVE INTERIOR W/TH OF EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB. FROM TOP OF EXISTING FINISH FLOOR TO TOP OF EXISTING WINDOW STUOL. REMOVE ALL OF THE EXISTING STEEL SECURITY RADIATOR COVER ASSEMBLES IN THEIR ENTIRETIES. REMOVE ALL EXISTING WINDOW STUOLS. AT ALL EXISTING WINDOW W/TH OF PASTER REMOVE THOSE PORTIONS OF EXISTING INTERIOR W/TH OF PASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OHM)

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 CONSULTANT

KEY PLAN

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CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARDS ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

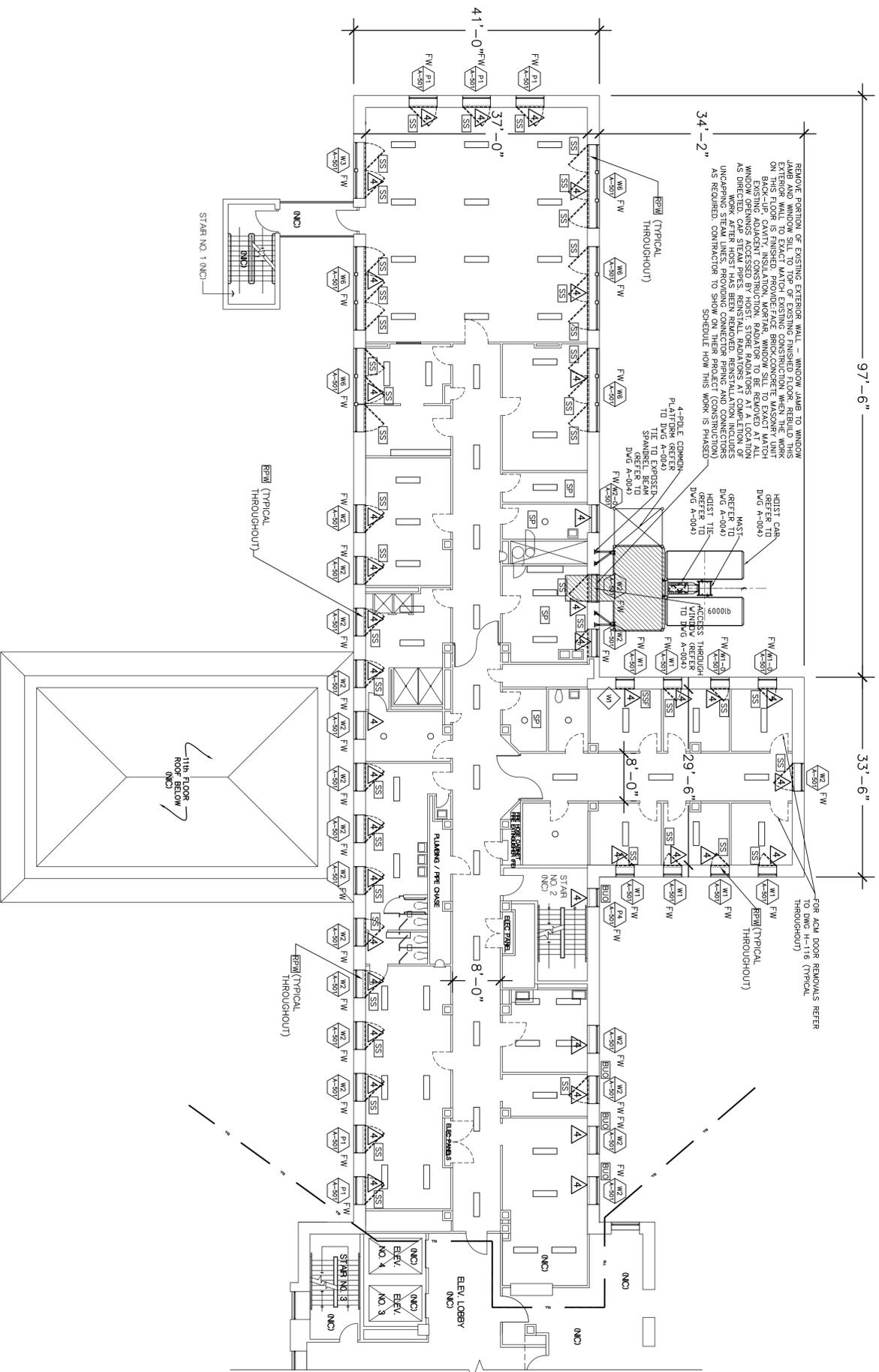
"REVISED DRAWING 12/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER:	Q0763 - C	
DESIGNED BY:	DMW	
DRAWN BY:	SL	
FIELD CHECK:	GOS	
APPROVED:	DMW	

FOURTEENTH FLOOR WINDOW INSTALLATION PLAN

DRAWING NUMBER: **A-115**

SHEET 41 OF 56



FIFTEENTH FLOOR WINDOW INSTALLATION PLAN
 3/32" = 1'-0"

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

△ EXISTING UNIT HEATERS AND RADATORS TO REMAIN FOR TEMPORARY HEAT.

MISCELLANEOUS SYMBOLS/NOTES:

- SS1 SECURITY SCREEN, EXISTING STEEL, SS AT INTERIOR OF EXISTING WINDOW OPENING - REMOVE.
- SS2 SECURITY SCREEN FRAME ONLY, EXISTING - REMOVE, NO SECURITY SCREENS HERE.
- SP1 SPRINKLERS, EXISTING AT ROOMS DENOTED THUS - SHALL REMAIN UNDISTURBED.
- BOU BOARDED UP OPENING AT EXISTING WINDOW EXTERIOR - REMOVE.

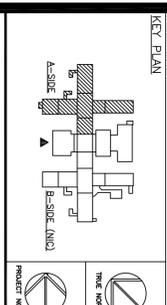
FW AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE. REMOVE EXISTING INTERIOR W/TFE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3" THICK GWD WITH 1/2" INSULATION AND 1/2" GWD. REMOVE EXISTING INTERIOR W/TFE OF EXISTING INTERIOR W/TFE ASSEMBLY (INCLUDING ALL EXISTING BASE MATERIAL WHERE APPLICABLE) FROM EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB. FROM TOP OF EXISTING FINISH FLOOR TO TOP OF EXISTING WINDOW STUOL, REMOVE ALL OF THE EXISTING STEEL SECURITY RADATOR COVER ASSEMBLIES IN THEIR ENTIRETIES. REMOVE ALL EXISTING WINDOW STUOLS. AT ALL EXISTING WINDOW JAMB RETURNS: REMOVE THOSE PORTIONS ASSEMBLY INTERIOR W/TFE AND PLASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

WINDOW NOTES:

FW - FURNISHED WINDOW (ALUMINUM SECURITY WINDOW FURNISHED BY OWH)



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CONSTRUCTION

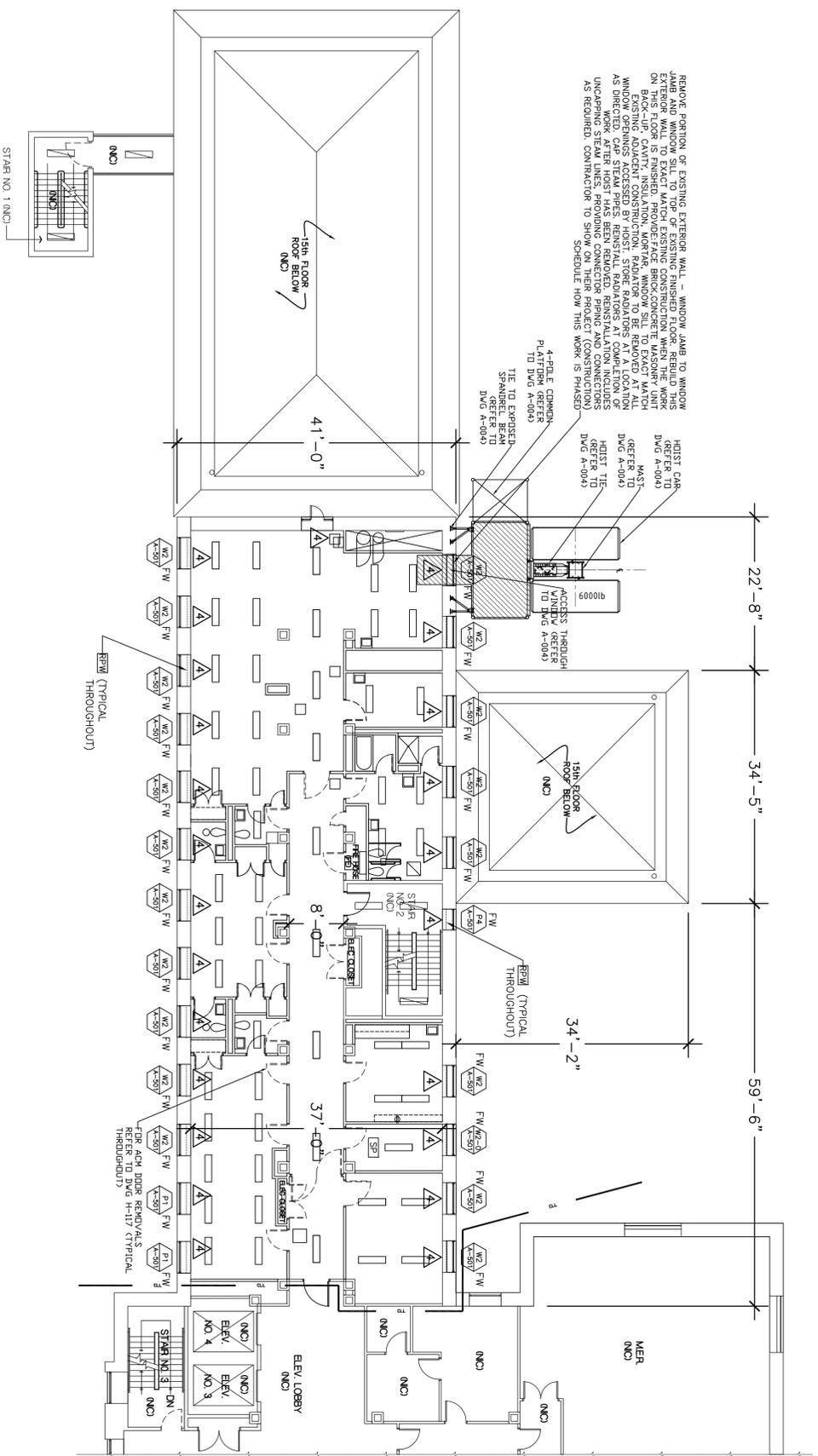
ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

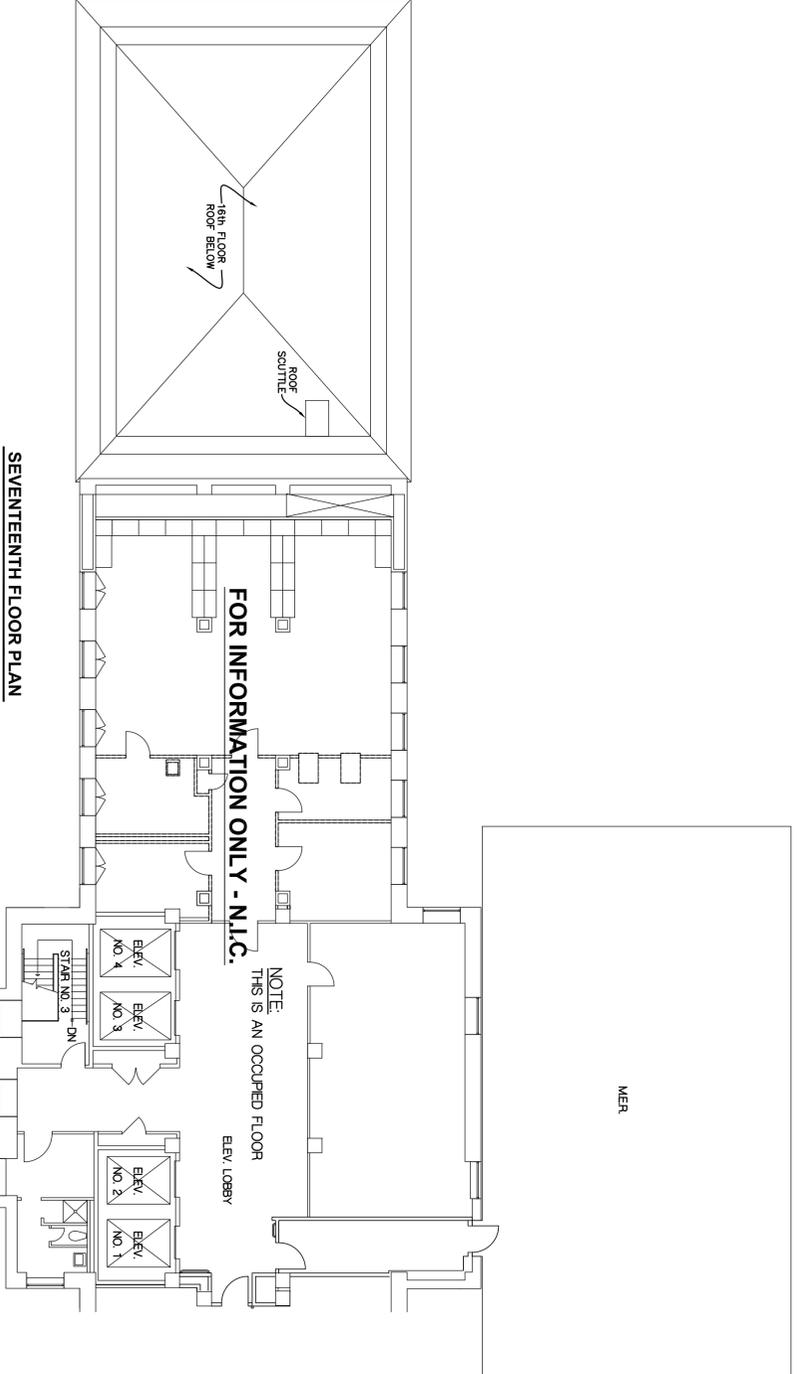
MARK	DATE	DESCRIPTION
FINAL	10/3/2012	BID DOCUMENT
PROJECT NUMBER:	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	SL	
FIELD CHECK:	GOS	
APPROVED:	DWM	

FIFTEENTH FLOOR WINDOW INSTALLATION PLAN

DRAWING NUMBER:
A-116
 SHEET 42 OF 56



SIXTEENTH FLOOR WINDOW INSTALLATION PLAN
 3/32" = 1'-0"



SEVENTEENTH FLOOR PLAN
 3/32" = 1'-0"

ABANDONED MECHANICAL DEMOLITION PLAN NOTES:

▲ EXISTING UNIT HEATERS AND RADIATORS TO REMAIN FOR TEMPORARY HEAT.

MISCELLANEOUS SYMBOLS/NOTES:

- SPRINKLERS EXISTING AT ROOMS DENOTED THIS - SHALL REMAIN UNDISTURBED.
- AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUSIVE: REMOVE EXISTING INTERIOR WYTHE OF EXISTING PLASTER FINISH (4"± TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WYTHE ASSEMBLY (INCLUDING ALL EXISTING BASE MATERIAL WHERE APPLICABLE) FROM EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB, FROM TOP OF EXISTING FINISH FLOOR TO TOP OF EXISTING PLASTER FINISH (4"± TOTAL THICKNESS). REMOVE ALL THIS EXISTING PLASTER FINISH (4"± TOTAL THICKNESS) IN THEIR EXISTING SETBACKS WITH RADIATOR COVER REMOVALS IN THEIR EXISTING SETBACKS. REMOVE THOSE PORTIONS OF THE EXISTING INTERIOR WYTHE OF EXISTING PLASTER FINISH (4"± TOTAL THICKNESS) OF CMU'S AND PASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW COPS. SEE ALSO DRAWING NUMBERS: A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

WINDOW NOTES:

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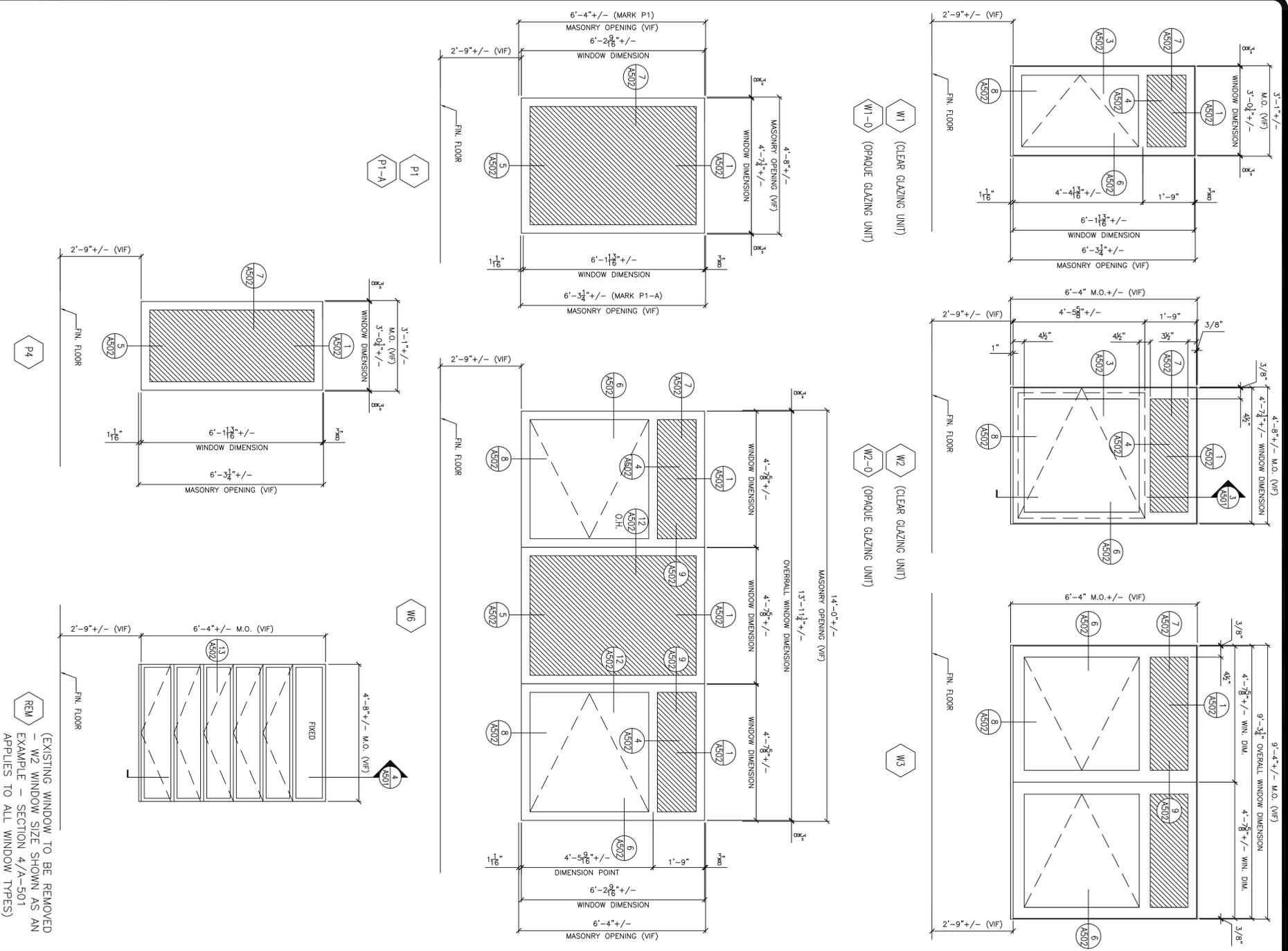
REC. SECT. ARCHITECT DAVID W. MILLER
 STATE OF NEW YORK
 DEPT. OF EDUCATION

CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

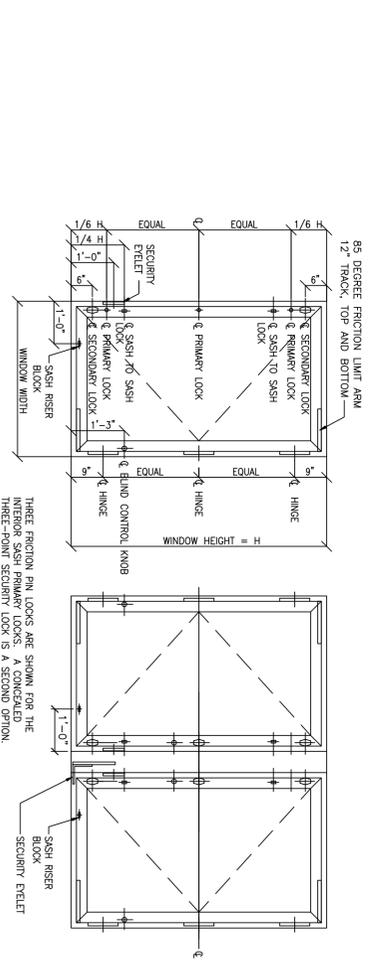
"REVISED DRAWING 1/22/2012"
 SHEET 43 OF 56
 DRAWING NUMBER: **A-117**
 SHEET TITLE:
SIXTEENTH FLOOR DEMOLITION AND WINDOW INSTALLATION PLAN

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER:	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	DWM, SL	
FIELD CHECK:	GMS	
APPROVED:	DWM	

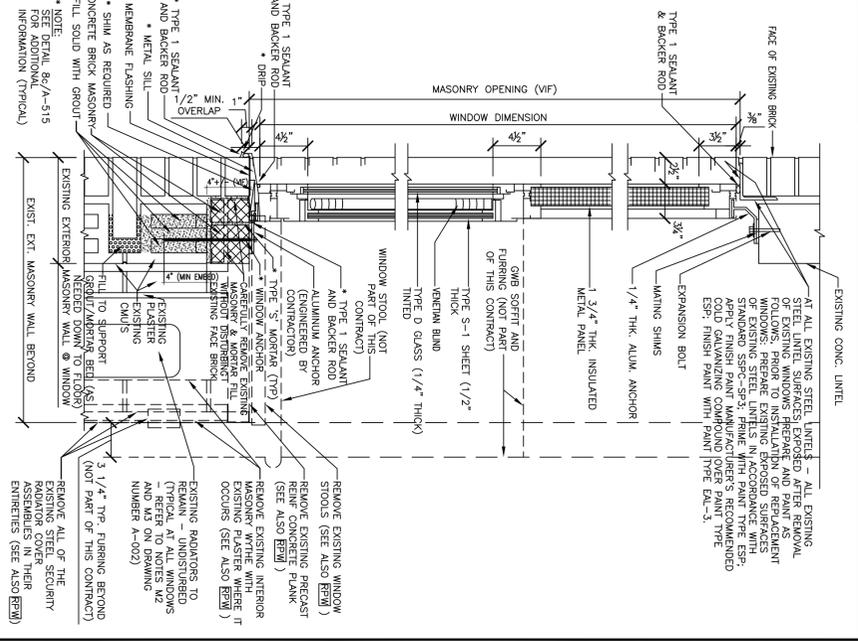
1 WINDOW TYPES
 SCALE: 1/2"=1'-0"



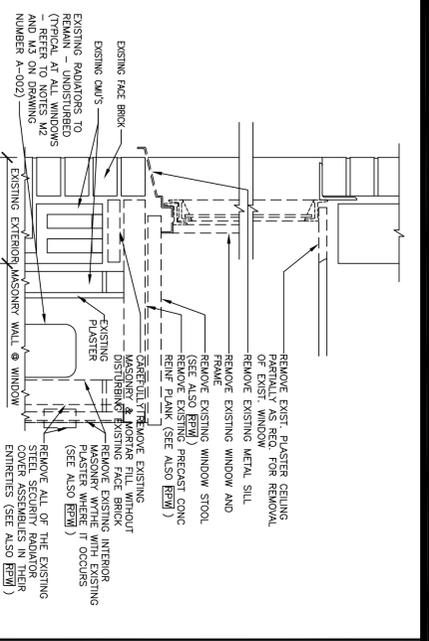
2 TYPICAL WINDOW HARDWARE LAYOUT (for reference)
 SCALE: 1/2"=1'-0" VIEW FROM INTERIOR



3 WINDOW DETAIL
 SCALE: 1-1/2"=1'-0"



4 EXIST. WINDOW SECT.
 SCALE: 1-1/2"=1'-0"



- NOTES - WINDOWS:**
- WINDOW UNITS, INCLUDING OF FRAMES, PANELS, GLAZING, BLINDS AND ALL BY THIS CONTRACTOR. ALL THESE ITEMS ARE STORED BY OAH ON SITE. SEE NOTE 5 FOR QUANTITY APPROXIMATELY 450 SUB-TOTAL - WINDOW UNITS STORED IN TRAILERS.
 - WINDOW UNITS, INCLUDING OF FRAMES, PANELS, GLAZING, BLINDS AND ALL RELATED APPURTENANCES, THAT ARE PROVIDED (FURNISHED) BY THIS CONTRACT QUANTITY APPROXIMATELY 340 SUB-TOTAL - IN ADDITION TO STORED WINDOWS.
 - TOTAL WINDOW UNITS (INCLUDING OF FRAMES, PANELS, GLAZING, BLINDS AND ALL RELATED APPURTENANCES) THAT ARE FURNISHED BY OAH (450 - SEE NOTE 1 QUANTITY APPROXIMATELY 790 TOTAL).
 - THE FOLLOWING REPORT IS INCLUDED IN THE APPENDIX OF THE PROJECT MANUAL. IT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE KEPT IN THE ARCHITECT'S OFFICE. THE REPORT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE KEPT IN THE ARCHITECT'S OFFICE. THE REPORT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE KEPT IN THE ARCHITECT'S OFFICE.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL WINDOW UNITS, PANELS AND RELATED APPURTENANCES THAT HAVE BEEN STORED BY OAH IN THE FOUR (4) TRACTOR-TRAILER SIZED TRAILERS ON MFC SITE.
 - THE CONTRACTOR SHALL PROVIDE A DETAILED SURVEY/INVENTORY IN A FORM ACCEPTABLE TO THE DIRECTOR'S REPRESENTATIVE. THIS SURVEY SHALL INCLUDE A DETAILED ACCOUNT OF ALL THAT IS STORED IN THE FOUR (4) TRACTOR-TRAILER SIZED TRAILERS ON MFC SITE. THE CONTRACTOR'S SURVEY/INVENTORY SHALL INCLUDE THE FOLLOWING INFORMATION: QUANTITY, LOCATION, CONDITION, FRAME TYPE, GLAZING, PANELS, GLAZING, BLINDS AND ALL RELATED APPURTENANCES. THE SURVEY/INVENTORY SHALL LIST THE EXACT QUANTITIES, SIZES, TYPES OF CONDITION OF ALL THESE APPURTENANCES. THE SURVEY/INVENTORY SHALL INCLUDE THE FOLLOWING INFORMATION: QUANTITY, LOCATION, CONDITION, FRAME TYPE, GLAZING, PANELS, GLAZING, BLINDS AND ALL RELATED APPURTENANCES. THE SURVEY/INVENTORY SHALL LIST THE EXACT QUANTITIES, SIZES, TYPES OF CONDITION OF ALL THESE APPURTENANCES.
 - ORDER OF FURNISHED/STORED WINDOWS (SEE NOTE 1 ABOVE) INSTALLATION: THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL WINDOW UNITS, PANELS AND RELATED APPURTENANCES THAT HAVE BEEN STORED BY OAH IN THE FOUR (4) TRACTOR-TRAILER SIZED TRAILERS ON MFC SITE. THE CONTRACTOR SHALL PROVIDE A DETAILED SURVEY/INVENTORY IN A FORM ACCEPTABLE TO THE DIRECTOR'S REPRESENTATIVE. THIS SURVEY SHALL INCLUDE A DETAILED ACCOUNT OF ALL THAT IS STORED IN THE FOUR (4) TRACTOR-TRAILER SIZED TRAILERS ON MFC SITE. THE CONTRACTOR'S SURVEY/INVENTORY SHALL INCLUDE THE FOLLOWING INFORMATION: QUANTITY, LOCATION, CONDITION, FRAME TYPE, GLAZING, PANELS, GLAZING, BLINDS AND ALL RELATED APPURTENANCES. THE SURVEY/INVENTORY SHALL LIST THE EXACT QUANTITIES, SIZES, TYPES OF CONDITION OF ALL THESE APPURTENANCES.
 - ORDER OF PROVIDED WINDOWS (FURNISHED BY THIS CONTRACT AND INSTALLED BY THE CONTRACTOR - SEE NOTE 2 ABOVE) INSTALLATION: THESE WINDOWS SHALL BE INSTALLED IN THE BASKET LEVEL WHERE POSSIBLE. ALSO.
 - FIELD VERIFICATION OF ALL EXISTING WINDOW OPENINGS: THE CONTRACTOR WILL FIELD VERIFY ALL SEVEN HUNDRED AND NINETY (790) EXISTING WINDOW OPENINGS DIMENSIONS AND VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS.
 - FOR ALL SEVEN HUNDRED AND NINETY (790) WINDOW OPENINGS - WHETHER FOR EXISTING OPENINGS THAT WILL RECEIVE WINDOWS PROVIDED (SEE NOTES ABOVE) BY THE CONTRACTOR OR FOR EXISTING OPENINGS THAT WILL RECEIVE WINDOWS FURNISHED (STORED IN THE TRAILERS - SEE NOTES ABOVE) BY OAH - THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF ALL HEADS, JAMBS AND SILLS.
 - WEATHER-TIGHT ENCLOSURES AT ALL EXISTING WINDOW OPENINGS - APPLIES TO ALL SEVEN HUNDRED AND NINETY (790) WINDOW OPENINGS - MOST LIKELY NOT EVERY WINDOW OPENING THAT HAS HAD ITS EXISTING WINDOW RADIATOR MUST BE IMMEDIATELY ENCLOSED, WEATHER-TIGHT, UNTIL THE FURNISHED/STORED OR PROVIDED WINDOW CAN BE INSTALLED. THE CONTRACTOR WILL PROVIDE THESE ENCLOSURES TO COMPLETE THE INSTALLATION OF THESE WINDOW UNITS.
 - WEATHER-TIGHT ENCLOSURES AT ALL EXISTING WINDOW OPENINGS - APPLIES TO ALL SEVEN HUNDRED AND NINETY (790) WINDOW OPENINGS - MOST LIKELY NOT EVERY WINDOW OPENING THAT HAS HAD ITS EXISTING WINDOW RADIATOR MUST BE IMMEDIATELY ENCLOSED, WEATHER-TIGHT, UNTIL THE FURNISHED/STORED OR PROVIDED WINDOW CAN BE INSTALLED. THE CONTRACTOR WILL PROVIDE THESE ENCLOSURES TO COMPLETE THE INSTALLATION OF THESE WINDOW UNITS.

FINAL 10/3/2012 BID DOCUMENT

MARK DATE DESCRIPTION

PROJECT NUMBER **Q0763 - C**

DESIGNED BY: DMW

DRAWN BY: SL, R. PLANT, DMW

FIELD CHECK: OCS

APPROVED: DMW

SHEET TITLE: WINDOW TYPES AND ELEVATIONS

DRAWING NUMBER: A-501

SHEET 49 OF 56

"REVISED DRAWING 12/26/2012"

CONSTRUCTION

ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS

DUNLAP BUILDING NO. 102, A-SIDE

LOCATION: MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035

CLIENT: OFFICE OF MENTAL HEALTH

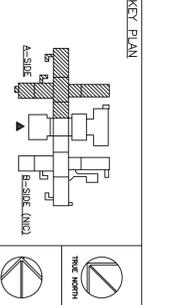
REGISTERED ARCHITECT

DAVID M. WALKER

STATE OF NEW YORK

NO. 028381

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OCS

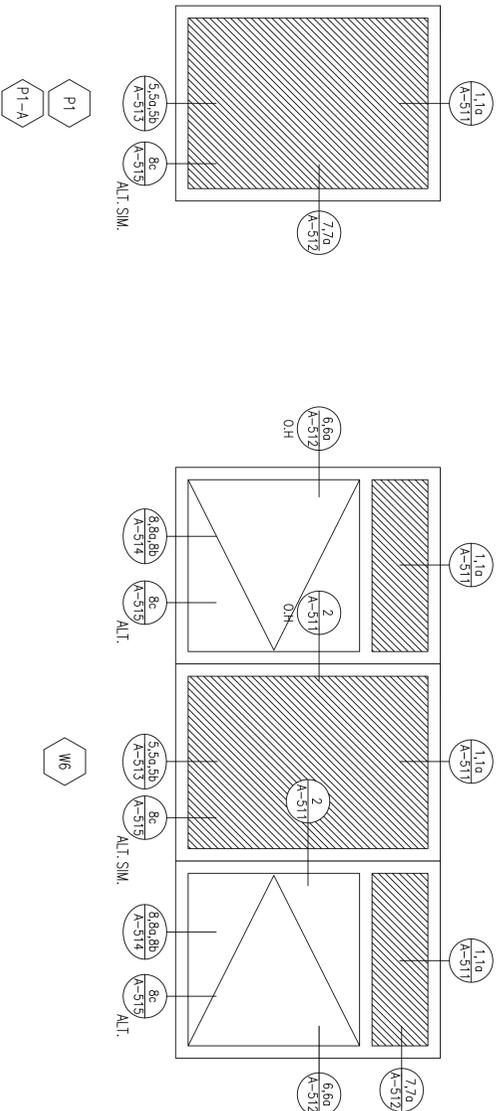
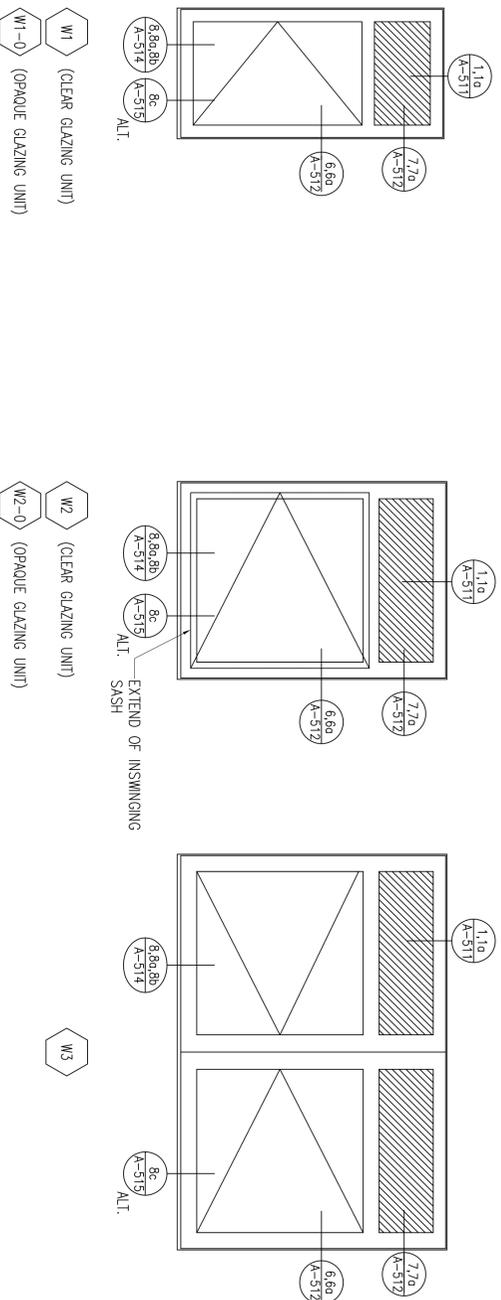
NY'S OFFICE OF GENERAL SERVICES

Striving New York

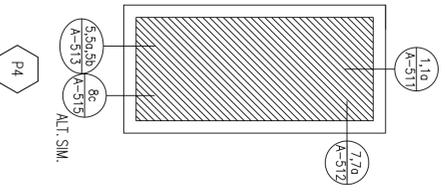
GOVERNOR ANDREW M. CUOMO

COMMISSIONER ROYANN M. DESTITO

JAMES J. MATHEWS, AIA
 Director, Construction Design and Construction



1 WINDOW TYPES
 A-510 SCALE: 1/2" = 1'-0"

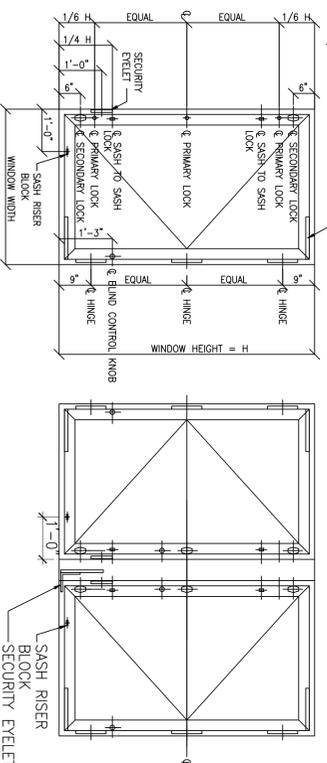


P4
 ALT. SIM.

NOTES:

- THIS DRAWING AND THE REFERENCED DETAILS ARE FOR THE REMEDIATION AND INSTALLATION WORK ASSOCIATED WITH WINDOW UNITS (FRAMES, PANELS, GLAZING AND BLINDS) THAT ARE FURNISHED BY OHM.
- CONTRACTOR SHALL INSPECT ALL WINDOW UNITS THAT HAVE BEEN STORED ON-SITE BY OHM PROVIDE REMEDIATION AND ADDITIONAL COMPONENTS FOR A COMPLETE INSTALLATION MEETING THE SPECIFICATION REQUIREMENTS.
- THE WINDOW TYPES SHOWN CORRESPOND TO THE DESIGNATIONS FOR THE NEW WINDOWS TO BE FURNISHED BY THE CONTRACTOR. SEE DRAWING A-501/A-502 FOR ADDITIONAL INFORMATION.
- THE WINDOW UNITS FURNISHED BY THE OHM DO NOT INCLUDE THE FRAMES FOR INSULATED PANELS, STARTER SILL, AND JAMB RECEPTORS SHOWN. THESE COMPONENTS AND ALL OTHER ACCESSORIES NEEDED FOR A COMPLETE INSTALLATION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A DESIGN FOR THE FRAMES FOR INSULATED PANELS, STARTER SILL AND JAMB RECEPTORS. THE PERFORMANCE (SEE SPECIFICATIONS) OF THE VENT WINDOW IN THE PROPOSED CONFIGURATION SHALL BE DEMONSTRATED BY TESTING.
- STORED WINDOWS, FURNISHED BY OHM, SHALL BE INSTALLED AT THE SIXTEENTH FLOOR AND PROCEEDING DOWNWARD AND THE BASEMENT WHERE POSSIBLE.
- THE CONTRACTOR WILL FIELD VERIFY ALL EXISTING WINDOW OPENING DIMENSIONS AND CONDITIONS AND PROVIDE A THOROUGH SET OF SHOP DRAWINGS FOR ALL WINDOW OPENINGS.
- THE CONTRACTOR SHALL PROVIDE ANCHOR TESTING OF ALL PROPOSED FASTENERS IN ALL BUILDING SUBSTRATE TYPES AND PROVIDE ENGINEERING CALCULATIONS, PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN NEW YORK, FOR ALL WINDOW ANCHORAGES.
- REFERENCE DOCUMENT LOCATED IN THE APPENDIX OF THE PROJECT MANUAL: MANHATTAN PSYCHIATRIC CENTER.
- SEE DRAWING A-501/A-502 FOR ADDITIONAL GENERAL NOTES AND DETAILS THAT APPLY TO ALL NEW AND EXISTING WINDOW INSTALLATIONS.

85 DEGREE FRICTION LIMIT ARM 12" TRACK, TOP AND BOTTOM



THREE FRICTION PIN LOCKS ARE SHOWN FOR THE INTERIOR SASH PRIMARY LOCKS.

2 WINDOW HARDWARE LAYOUT (FOR REFERENCE)
 A-510 SCALE: N.T.S.

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 NYS OFFICE OF GENERAL SERVICES
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 ANDREW M. CUOMO
 Governor
 ROYANN M. DESTITO
 Commissioner
 JAMES M. HANES, AIA
 Deputy Commissioner, Design and Construction
 CONSULTANT

KEY PLAN

WARNING:
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REGISTERED ARCHITECT
 DAVID W. MILLER
 STATE OF NEW YORK
 No. 029839

CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

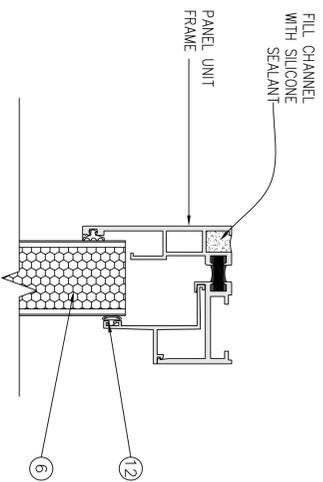
"REVISED DRAWING 12/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER:	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	GMS, SL, DWM	
FIELD CHECK:	OCS	
APPROVED:	DWM	

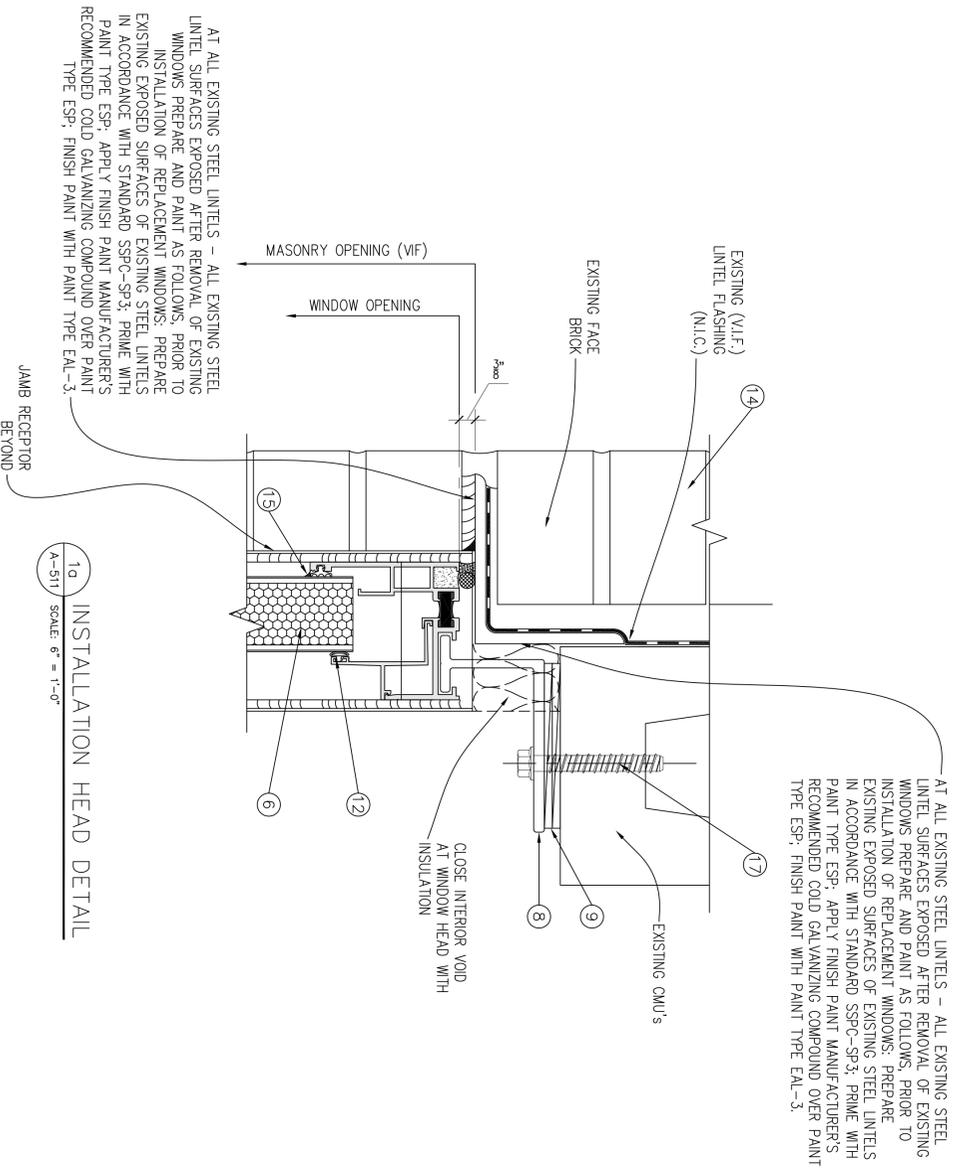
WINDOW TYPES AND ELEVATIONS-REMEDIATION (REFURBISHMENT)

DRAWING NUMBER: **A-510**

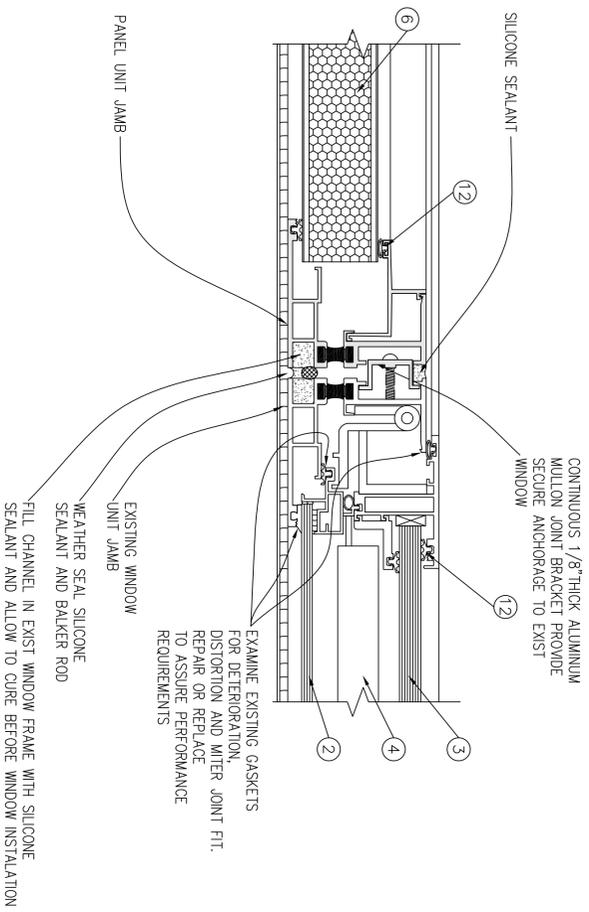
SHEET 51 OF 56



1 PANEL UNIT HEAD
 A-511 SCALE: 6" = 1'-0"



1d INSTALLATION HEAD DETAIL
 A-511 SCALE: 6" = 1'-0"



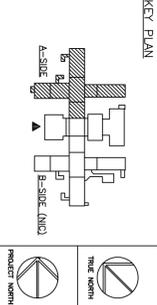
2 VERTICAL MULLION DETAIL
 A-511 SCALE: 6" = 1'-0"

KEY NOTES:

- 1 EXTRUDED ALUMINUM DOUBLE IN-SWING CASEMENT WINDOW UNIT
- 2 1/4" TYPE 'D' GLASS
- 3 1/2" TYPE 'S-1' GLASS
- 4 INTEGRAL VENETIAN BLINDS
- 5 NOT USED
- 6 METAL WINDOW PANEL - INSULATED - 1 1/2" THICK
- 7 NOT USED
- 8 ALUM. ANCHOR (ENGINEERED BY CONTRACTOR)
- 9 FULL DEPTH SHIM, AS REQUIRED
- 10 BACKER ROD & SEALANT
- 11 SEALANT
- 12 NEOPRENE GASKET
- 13 EXISTING LINTEL
- 14 EXISTING BRICK
- 15 TYPE 1 SEALANT
- 16 WEEP HOLE/BAFFLE
- 17 WINDOW ANCHOR (CONTRACTOR TO SUBMIT ENGINEERING FOR APPROVAL)
- 18 ALUMINUM SUBSILL
- 19 SILL SUPPORT
- 20 FLASHING - RUBBERIZED ASPHALT "PEEL AND STICK"
- 21 EXISTING CONCRETE/MASONRY (V.I.F)
- 22 NOT USED
- 23 NOT USED
- 24 REMOVE EXISTING PLASTER TO ATTACH WINDOW ANCHORS DIRECTLY TO MASONRY
- 25 NOT USED
- 26 BACKER ROD & TYPE 1 SEALANT

NY'S OFFICE OF GENERAL SERVICES
 Setting New York

ANDREW M. CUOMO
 Governor
 ROANN M. DESTITO
 Commissioner
 JAMES M. HANES, A.I.A.
 Deputy Commissioner, Design and Construction
 CONSULTANT



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CONSTRUCTION

ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION: MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035

CLIENT: OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

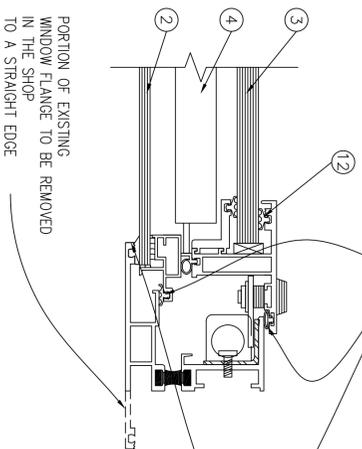
FINAL	DATE	BID DOCUMENT
10/3/2012		
MARK	DATE	DESCRIPTION
PROJECT NUMBER: Q0763 - C		
DESIGNED BY: DWM		
DRAWN BY: GMS, SL, DWM		
FIELD CHECK: OCS		
APPROVED: DWM		
SHEET TITLE:		

WINDOW DETAILS

DRAWING NUMBER: **A-511**

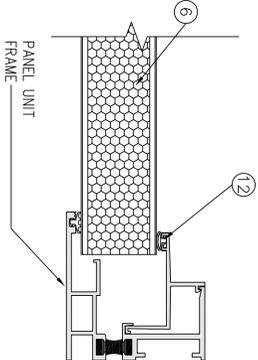
SHEET 52 OF 56

EXAMINE EXISTING GASKETS FOR DETERIORATION, DISTORTION AND MITER JOINT FIT. REPAIR OR REPLACE TO ASSURE PERFORMANCE REQUIREMENTS (SEE SPECIFICATIONS) - TYP



PORTION OF EXISTING WINDOW FLANGE TO BE REMOVED IN THE SHOP TO A STRAIGHT EDGE

6 WINDOW UNIT JAMB
 A-512 SCALE: 6" = 1'-0"

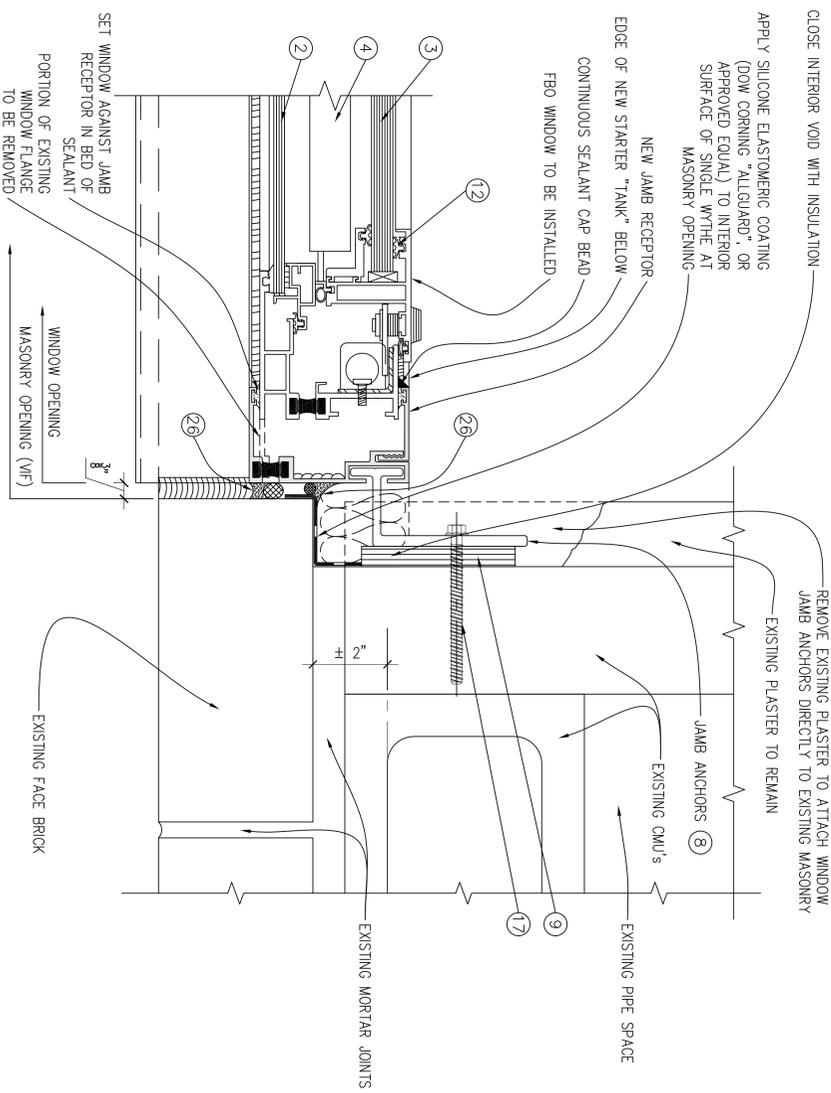


PANEL UNIT FRAME

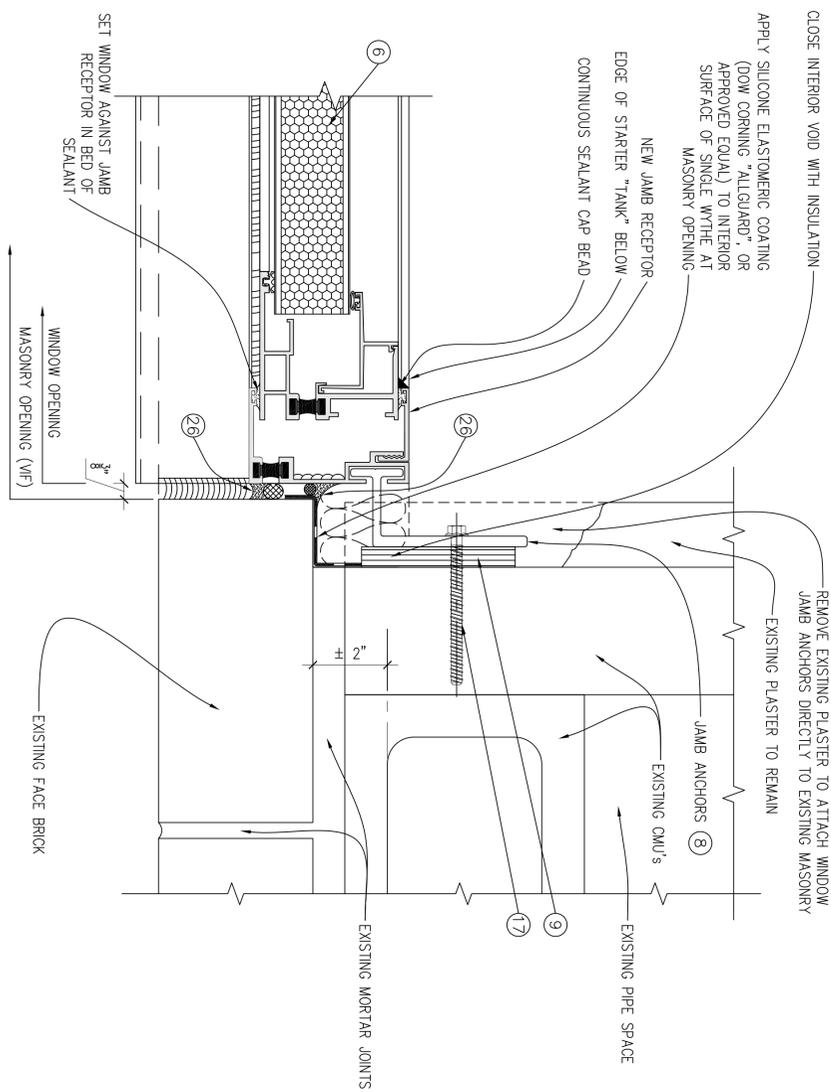
7 PANEL UNIT JAMB
 A-512 SCALE: 6" = 1'-0"

KEY NOTES:

- 1 EXTRUDED ALUMINUM DOUBLE IN-SWING CASEMENT WINDOW UNIT
- 2 1/2" TYPE 'D' GLASS
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- 5 NOT USED
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- 14 EXISTING BRICK
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- 16 WEEP HOLE/BAFFLE
- 17 WINDOW ANCHOR (CONTRACTOR TO SUBMIT ENGINEERING FOR APPROVAL)
- 18 ALUMINUM SUBSILL
- 19 SILL SUPPORT
- 20 FLASHING - RUBBERIZED ASPHALT "PEEL AND STICK"
- 21 EXISTING CONCRETE/MASONRY (V.I.F)
- 22 NOT USED
- 23 NOT USED
- 24 REMOVE EXISTING PLASTER TO ATTACH WINDOW ANCHORS DIRECTLY TO MASONRY
- 25 NOT USED
- 26 BACKER ROD & TYPE 1 SEALANT



6d INSTALLATION JAMB DETAIL
 A-512 SCALE: 6" = 1'-0"



7d INSTALLATION JAMB DETAIL
 A-512 SCALE: 6" = 1'-0"

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 NYS OFFICE OF GENERAL SERVICES
 Setting New York
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 Deputy Commissioner, Design and Construction
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KEY PLAN

CONTRACTOR:
CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

FINAL	DATE	DESCRIPTION
10/3/2012	BID DOCUMENT	

MARK: _____
 PROJECT NUMBER: **Q0763 - C**
 DESIGNED BY: DWM
 DRAWN BY: GMS, DWA, SL
 FIELD CHECK: OCS
 APPROVED: DWM

WINDOW DETAILS

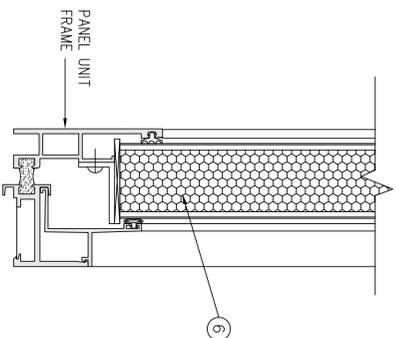
DRAWING NUMBER: **A-512**
 SHEET 53 OF 56

NOTES:

1. AT EXISTING WINDOW SILL MASONRY, REMOVE MATERIAL DOWN TO TOP OF THE HOLLOW CMU. REPLACE MASONRY AS SHOWN UP TO THE OUTER WTH THE LEVEL.
2. THE OVERALL M.O. HEIGHT MAY NOT BE SUFFICIENT FOR INSTALLATION WITH A SINGLE PIECE SUBSILL STARTER. IF THIS IS CONFIRMED IN THE CONTRACTOR SURVEYS OF THE WINDOW UNITS AND CLEARANCES (SEE 8c/A-515).

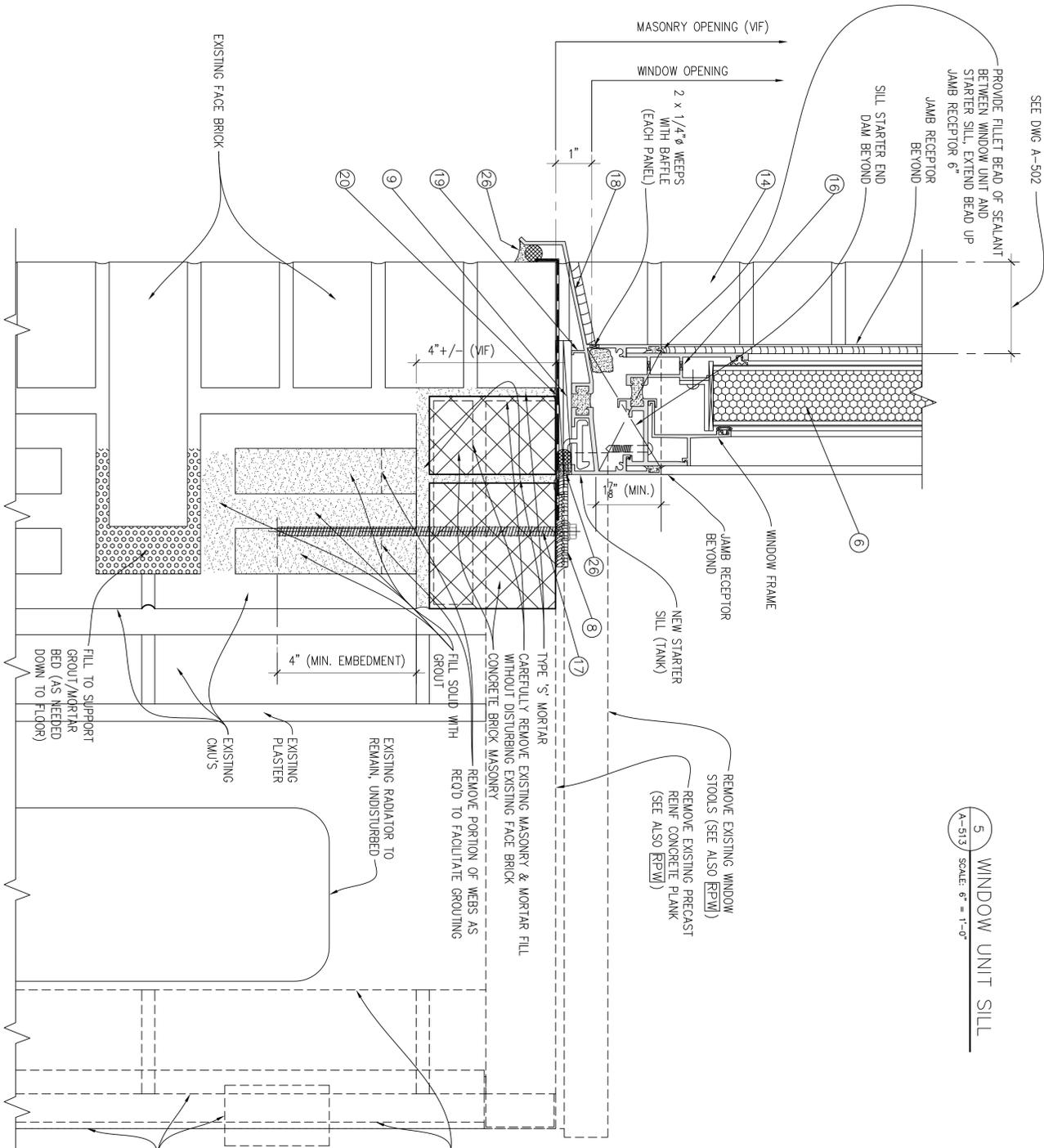
RPW:

AT ALL EXISTING WINDOW OPENINGS TO RECEIVE WINDOW REPLACEMENT - BASEMENT FLOOR AND FIRST (1ST) FLOOR THROUGH SIXTEENTH (16TH) FLOORS, INCLUDE: REMOVE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY WHICH CONSISTS OF 3"± THICK CMU WITH PLASTER FINISH (4"± TOTAL THICKNESS). REMOVE ALL THIS EXISTING INTERIOR WYTHE ASSEMBLY (INCLUDING ALL EXISTING BASE MATERIAL WHERE APPLICABLE) FROM EXISTING WINDOW JAMB TO EXISTING WINDOW JAMB, FROM TOP OF EXISTING FINISH FLOOR TO TOP OF EXISTING WINDOW STOOL, REMOVE ALL OF THE EXISTING STEEL SECURITY RADIATOR COVER ASSEMBLIES IN THEIR ENTIRETIES. REMOVE ALL EXISTING WINDOW STOOLS. AT ALL EXISTING WINDOW JAMB RETURNS: REMOVE THOSE PORTIONS OF THE EXISTING INTERIOR WYTHE OF EXISTING EXTERIOR WALL ASSEMBLY CONSISTING OF CMU'S AND PLASTER (SEE ABOVE) THAT NEED TO BE REMOVED TO INSTALL THE WINDOW CLIPS. SEE ALSO DRAWING NUMBERS: A-501, A-502, A-510, A-511, A-512, A-513, A-514 AND A-515 FOR DETAILED INFORMATION.

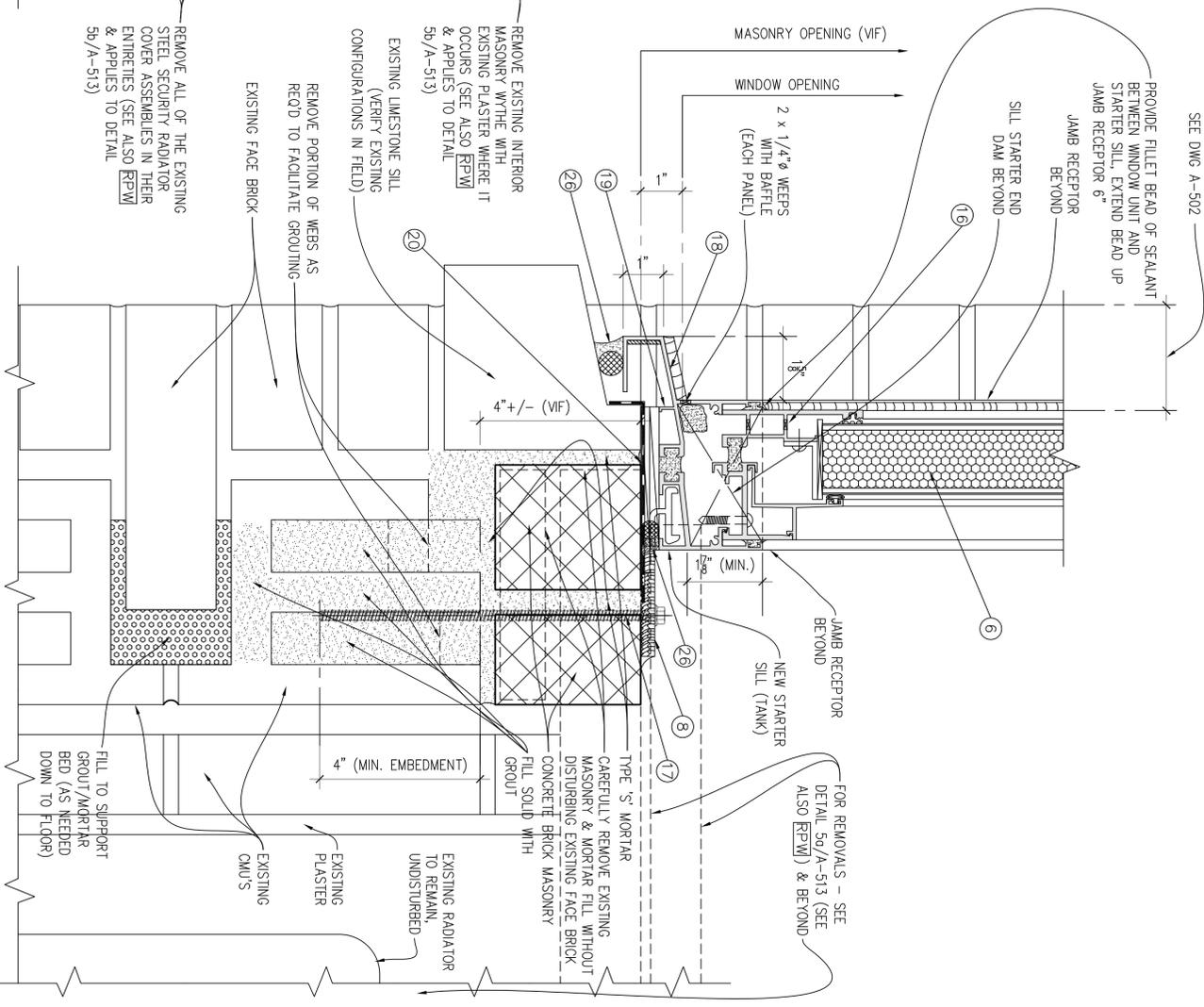


5 WINDOW UNIT SILL
 A-513 SCALE: 6" = 1'-0"

- KEY NOTES:**
- 1 EXTRUDED ALUMINIUM DOUBLE IN-SWING CASSEMENT WINDOW UNIT
 - 2 1/2" TYPE 'D' GLASS
 - 3 1/2" TYPE 'S-1' GLASS
 - 4 INTEGRAL VENETIAN BLINDS
 - 5 NOT USED
 - 6 METAL WINDOW PANEL - INSULATED - 1 1/2" THICK
 - 7 NOT USED
 - 8 ALUM. ANCHOR (ENGINEERED BY CONTRACTOR)
 - 9 FULL DEPTH SHIM, AS REQUIRED
 - 10 BACKER ROD & SEALANT
 - 11 SEALANT
 - 12 NEOPRENE GASKET
 - 13 EXISTING LINTEL
 - 14 EXISTING BRICK
 - 15 TYPE 1 SEALANT
 - 16 WEEP HOLE/BARFLE
 - 17 WINDOW ANCHOR (CONTRACTOR TO SUBMIT ENGINEERING FOR APPROVAL)
 - 18 ALUMINIUM SUBSILL
 - 19 SILL SUPPORT
 - 20 FLASHING - RUBBERIZED ASPHALT "PEEL AND STICK"
 - 21 EXISTING CONCRETE/MASONRY (V.I.F)
 - 22 NOT USED
 - 23 NOT USED
 - 24 REMOVE EXISTING PLASTER TO ATTACH WINDOW ANCHORS DIRECTLY TO MASONRY
 - 25 NOT USED
 - 26 BACKER ROD & TYPE 1 SEALANT



5a INSTALLATION STARTER SILL DETAIL (BRICK)
 A-513 SCALE: 6" = 1'-0"



5b INSTALLATION SILL STARTER DETAIL (LIMESTONE)
 A-513 SCALE: 6" = 1'-0"

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CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

FINAL	DATE	DESCRIPTION
10/3/2012	BID DOCUMENT	

MARK: _____
 PROJECT NUMBER: **Q0763 - C**
 DESIGNED BY: DWM
 DRAWN BY: GMS, DWA, SL
 FIELD CHECK: OCS
 APPROVED: DWM

WINDOW DETAILS

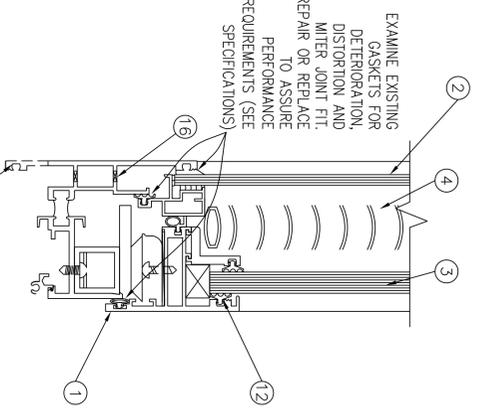
DRAWING NUMBER: **A-513**
 SHEET 54 OF 56

NOTES:

1. AT EXISTING WINDOW SILL MASONRY, REMOVE MATERIAL DOWN TO TOP OF THE HOLLOW CMU. REPLACE MASONRY AS SHOWN UP TO THE OUTER WYTHE LEVEL.
2. THE OVERALL M.O. HEIGHT MAY NOT BE SUFFICIENT FOR INSTALLATION WITH A SINGLE PIECE SUBSILL STARTER, IF THIS IS CONFIRMED IN THE CONTRACTOR SURVEYS OF THE WINDOW UNITS AND THE BUILDING CONDITIONS, A TWO PIECE SUBSILL MAY BE REQUIRED FOR INSTALLATION CLEARANCES (SEE 8c/A-514).

RPW:

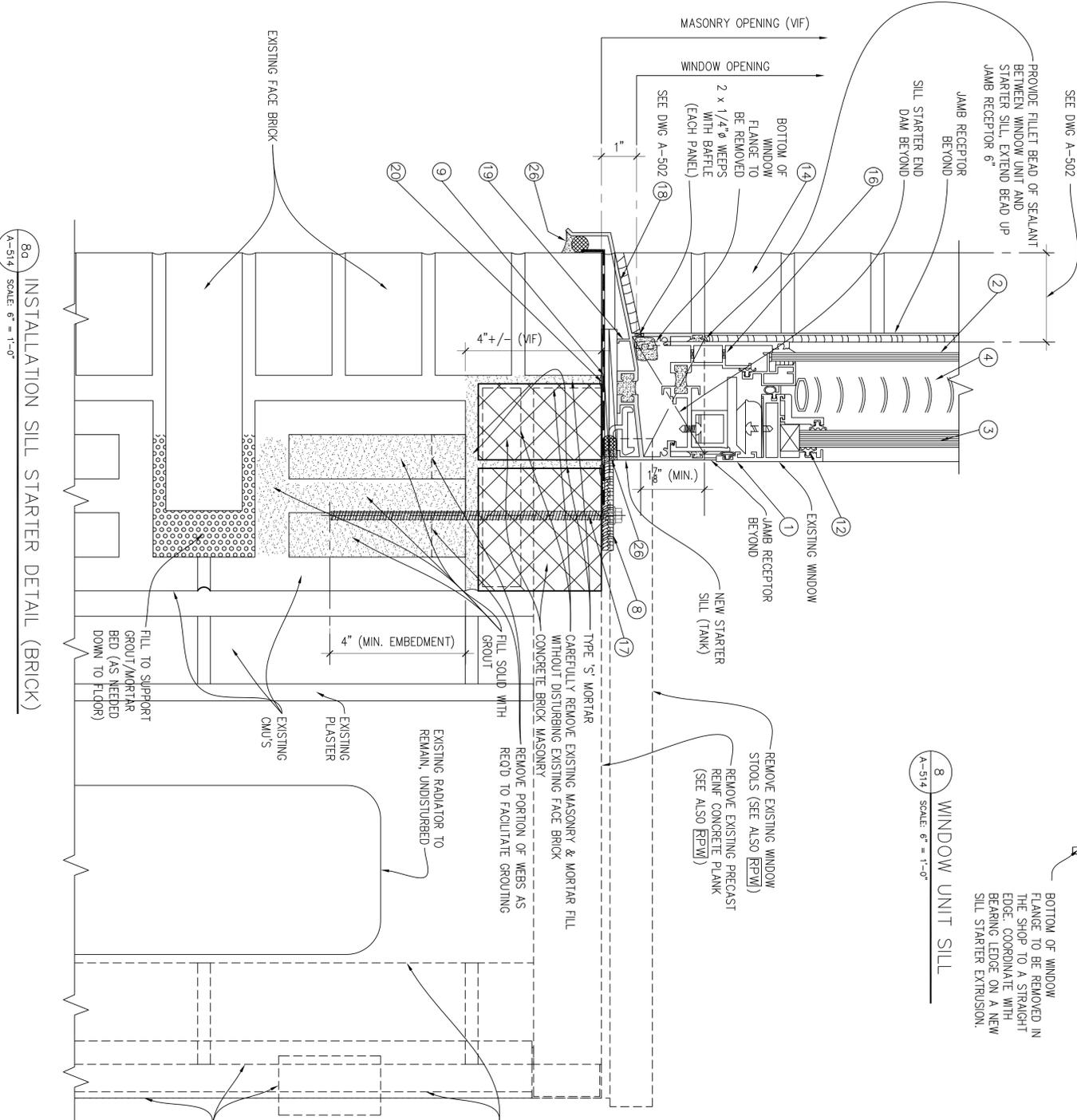
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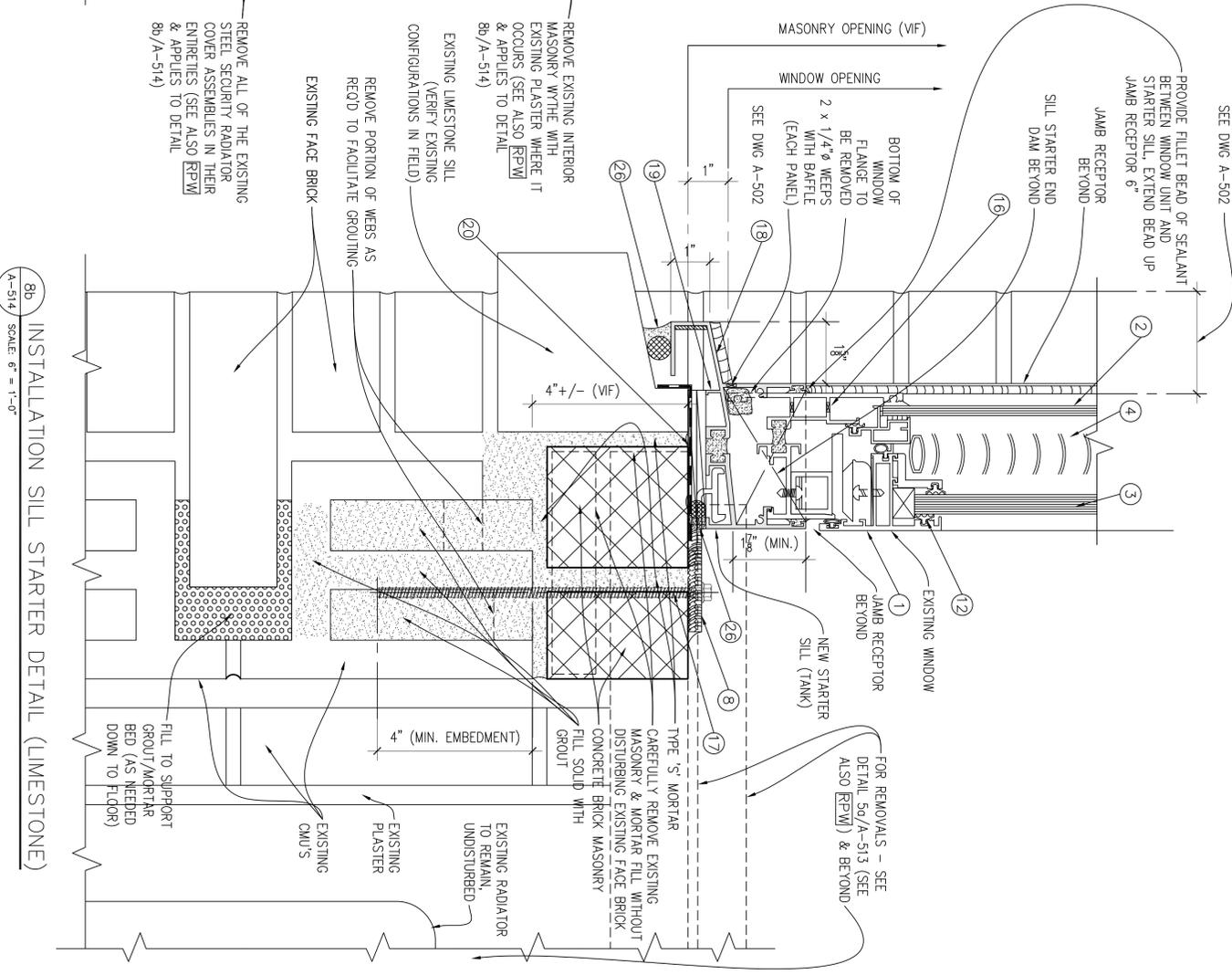
8 WINDOW UNIT SILL
 SCALE: 6" = 1'-0"

KEY NOTES:

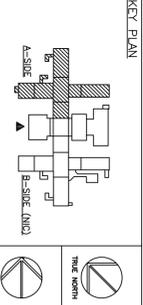
- 1 EXTRUDED ALUMINUM DOUBLE IN-SWING CASEMENT WINDOW UNIT
- 2 1/2" TYPE 'D' GLASS
- 3 1/2" TYPE 'S-1' GLASS
- 4 INTEGRAL VENETIAN BLINDS
- 5 NOT USED
- 6 METAL WINDOW PANEL - INSULATED - 1/2" THICK
- 7 NOT USED
- 8 ALUM. ANCHOR (ENGINEERED BY CONTRACTOR)
- 9 FILL DEPTH SHIM, AS REQUIRED
- 10 BAKER ROD & SEALANT
- 11 SEALANT
- 12 NEOPRENE GASKET
- 13 EXISTING LINTEL
- 14 EXISTING BRICK
- 15 TYPE 1 SEALANT
- 16 WEEP HOLE/BAFFLE
- 17 WINDOW ANCHOR (CONTRACTOR TO SUBMIT ENGINEERING FOR APPROVAL)
- 18 ALUMINUM SUBSILL
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- 21 EXISTING CONCRETE/MASONRY (V.I.F)
- 22 NOT USED
- 23 NOT USED
- 24 REMOVE EXISTING PLASTER TO ATTACH WINDOW ANCHORS DIRECTLY TO MASONRY
- 25 NOT USED
- 26 BAKER ROD & TYPE 1 SEALANT



8c INSTALLATION SILL STARTER DETAIL (BRICK)
 SCALE: 6" = 1'-0"



8b INSTALLATION SILL STARTER DETAIL (LIMESTONE)
 SCALE: 6" = 1'-0"



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CONTRACTOR:
CONSTRUCTION
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"REVISED DRAWING 12/26/2012"

FINAL	DATE	BID DOCUMENT
10/3/2012		

MARK	DESCRIPTION
PROJECT NUMBER	Q0763 - C
DESIGNED BY:	DWM
DRAWN BY:	GMS, DWA, SL
FIELD CHECK:	OSS
APPROVED:	DWM

SHEET TITLE:
WINDOW DETAILS

DRAWING NUMBER:
A-514

SHEET 55 OF 56

NOTES:

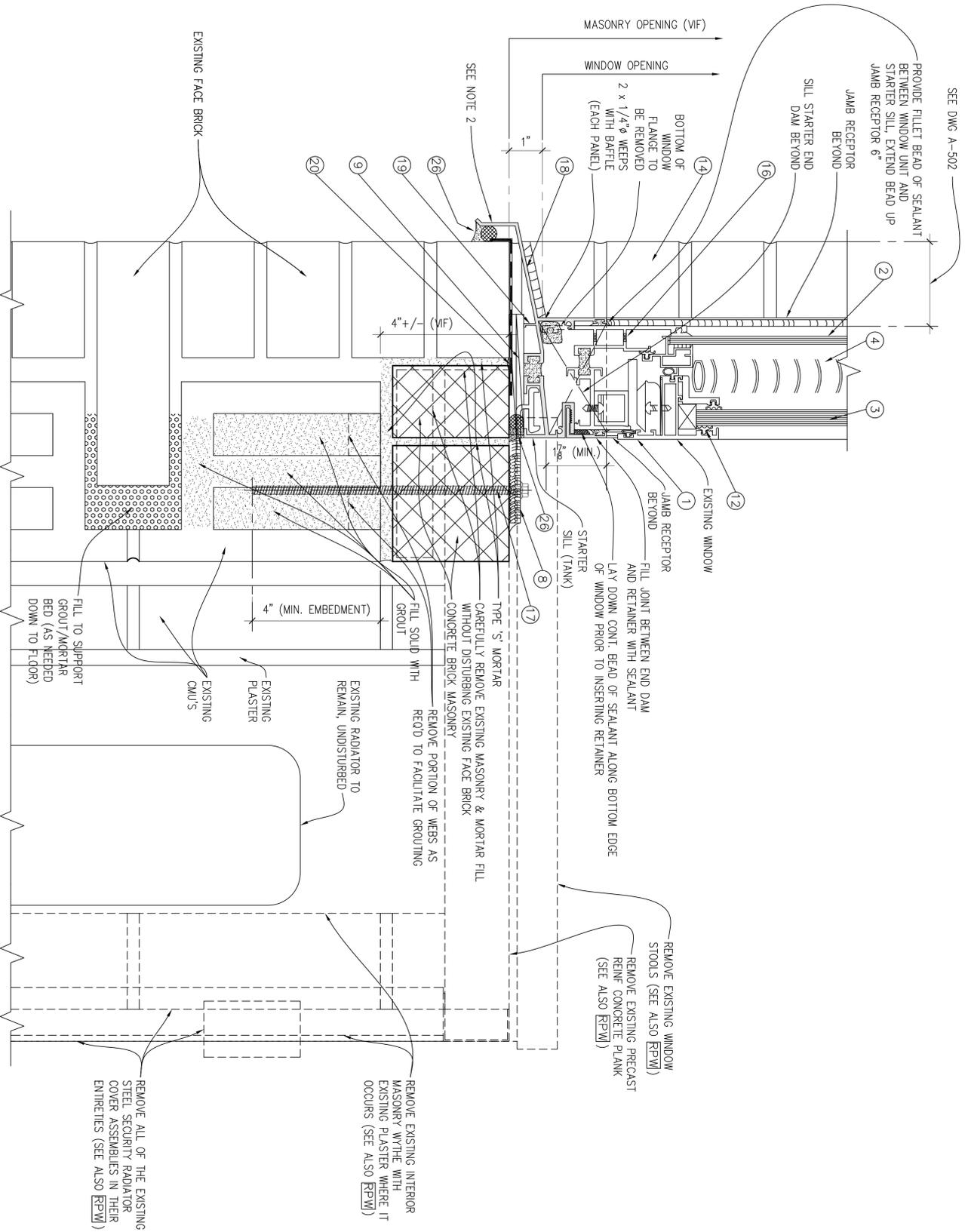
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2. THE OVERALL M.O. HEIGHT MAY NOT BE SUFFICIENT FOR INSTALLATION WITH A SINGLE PIECE SUBSILL STARTER. IF THIS IS CONCERNED IN THE CONTRACTOR SURVEY OF THE WINDOW UNITS AND THE BUILDING CONDITIONS, A TWO PIECE SUBSILL MAY BE REQUIRED FOR INSTALLATION CLEARANCES (SEE Bc/A-515).

RPW:

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KEY NOTES:

1. EXTRUDED ALUMINIUM DOUBLE IN-SWING CASEMENT WINDOW UNIT
2. 1/2" TYPE 'D' GLASS
3. 1/2" TYPE 'S-1' GLASS
4. INTEGRAL VENETIAN BLINDS
5. NOT USED
6. METAL WINDOW PANEL - INSULATED - 1 1/2" THICK
7. NOT USED
8. ALUM. ANCHOR (ENGINEERED BY CONTRACTOR)
9. FULL DEPTH SHIM, AS REQUIRED
10. BACKER ROD & SEALANT
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17. WINDOW ANCHOR (CONTRACTOR TO SUBMIT ENGINEERING FOR APPROVAL)
18. ALUMINIUM SUBSILL
19. SILL SUPPORT
20. FLASHING - RUBBERIZED ASPHALT "PEEL AND STICK"
21. EXISTING CONCRETE/MASONRY (VLF)
22. NOT USED
23. NOT USED
24. REMOVE EXISTING PLASTER TO ATTACH WINDOW ANCHORS DIRECTLY TO MASONRY
25. NOT USED
26. BACKER ROD & TYPE 1 SEALANT



8c ALTERNATE INSTALLATION SILL STARTER DETAIL

A-515 SCALE: 6" = 1'-0"

QCS
 QCS
 NY'S OFFICE OF GENERAL SERVICES
 Serving New York
 ANDREW M. CUOMO
 Governor
 ROYANN M. DESTITO
 Commissioner
 JAMES W. MATTERS, AIA
 Deputy Commissioner, Design and Construction
 CONSULTANT

WARNING:
 THE ATTENTION OF THIS MATERIAL, IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS PROHIBITED BY NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.

KEY PLAN

CONSTRUCTION
 ASBESTOS REMOVAL, DEMOLITION, AND REPLACE WINDOWS
 DUNLAP BUILDING NO. 102, A-SIDE
 LOCATION:
 MANHATTAN PSYCHIATRIC CENTER
 600 E. 125th STREET
 WARD'S ISLAND, NY 10035
 CLIENT:
 OFFICE OF MENTAL HEALTH

"REVISED DRAWING 12/26/2012"

FINAL	10/3/2012	BID DOCUMENT
MARK	DATE	DESCRIPTION
PROJECT NUMBER:	Q0763 - C	
DESIGNED BY:	DWM	
DRAWN BY:	GMS, DWM, SL	
FIELD CHECK:	OCS	
APPROVED:	DWM	

WINDOW DETAILS

DRAWING NUMBER: **A-515**

SHEET 56 OF 56

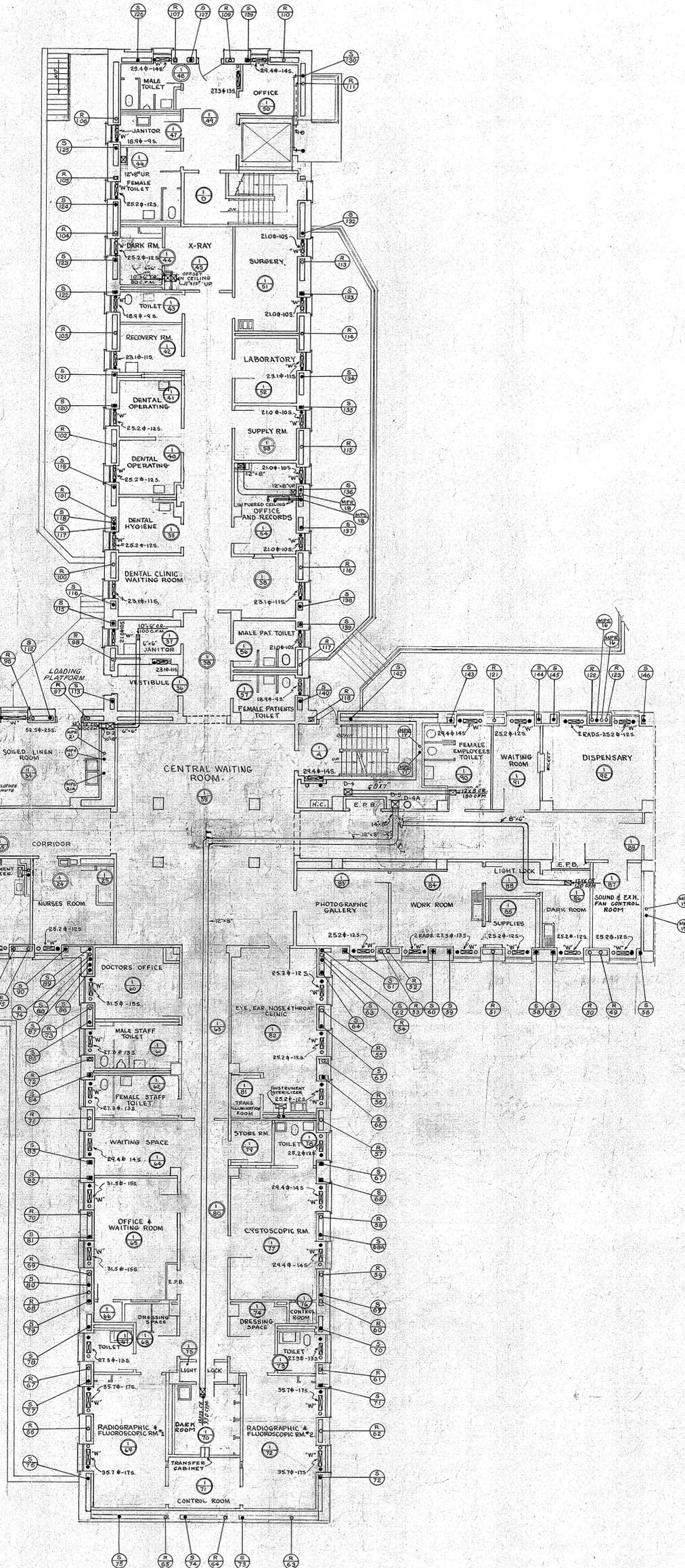
NOTES

A - EXTEND AND SPILL BOTH THE 1/2 CONDENSED WATER VALVED RETURN OUTLETS AND 3/4 DRAIN TO BELL OUTLET SUPPLIED BY OTHERS.

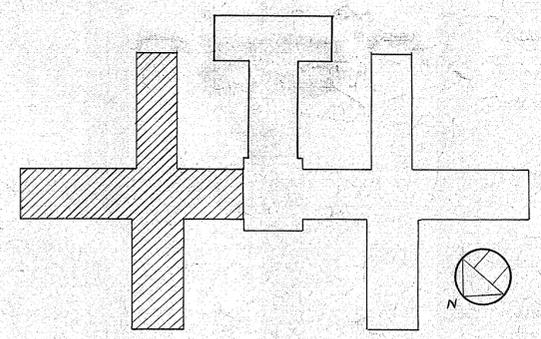
B - LEAVE 1/2 CONDENSED WATER SUPPLY VALVED OUTLETS FOR CONNECTION BY OTHERS.

C - THESE AIR DIFFUSERS SHALL BE ANEMOSTAT TYPE AR-2 SIZE 25 OR EQUIVALENT. UNITS IN ROOMS 1/9 AND 1/10 SHALL HAVE AN AIR SUPPLY OF 375 AND 325 CFM RESPECTIVELY.

D - THE AIR CONDITIONING UNIT SHALL BE MOUNTED 4" ABOVE FLOOR ON LEGS.



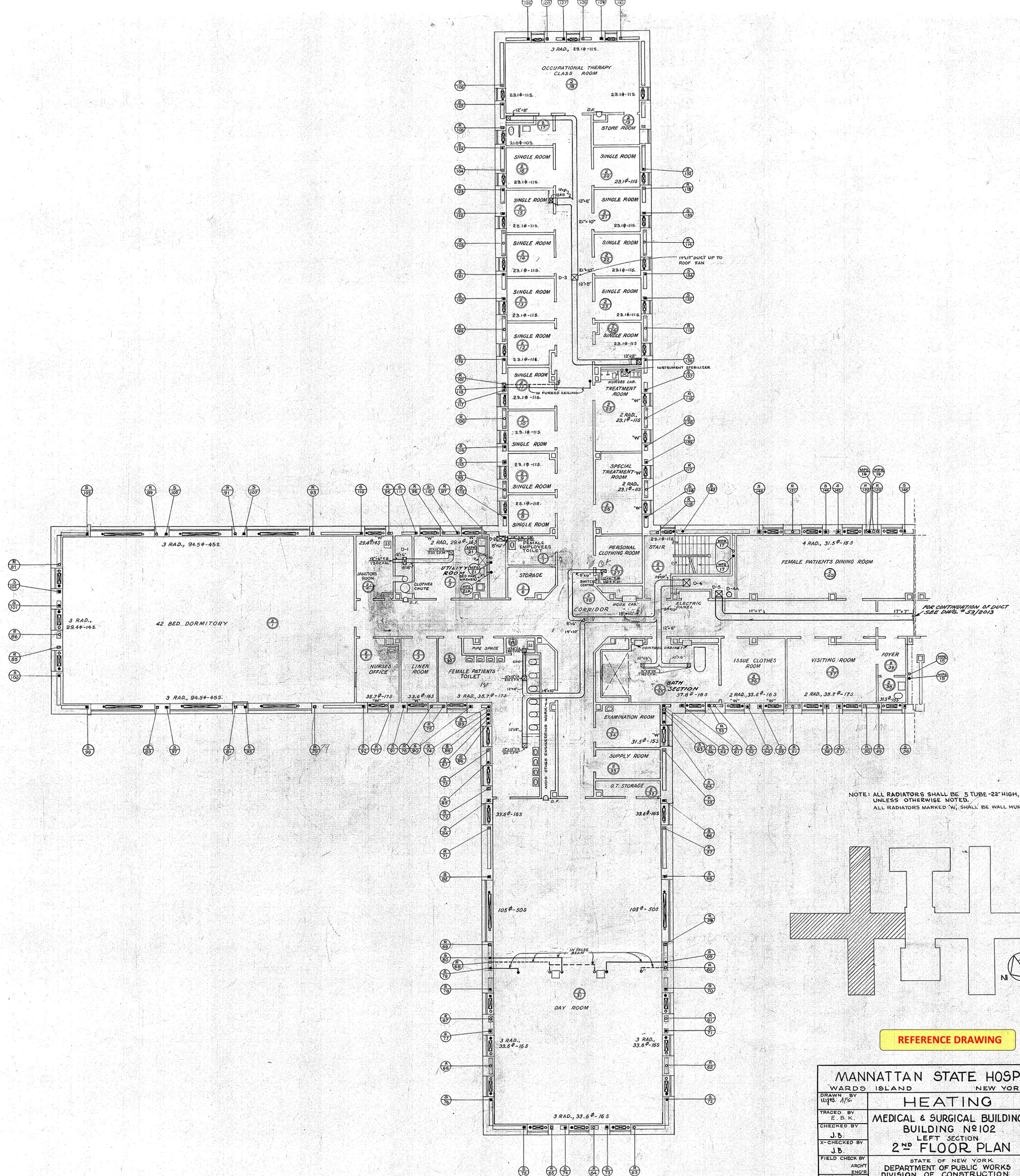
NOTE: ALL RADIATORS SHALL BE 5 TUBE-22" HIGH, UNLESS OTHERWISE NOTED. ALL RADIATORS MARKED 'W' SHALL BE WALL HUNG.



REFERENCE DRAWING

MANHATTAN STATE HOSPITAL WARD ISLAND NEW YORK, N.Y.		PROJECT NO. 8586
HEATING		SPECIFICATION NO. 17722
MEDICAL & SURGICAL BUILDING BUILDING NO 102 LEFT SECTION		DATE MAY-1-1953
1 ST FLOOR PLAN		SCALE 1" = 10'
STATE OF NEW YORK DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT		DRAWING NO. 53 2003

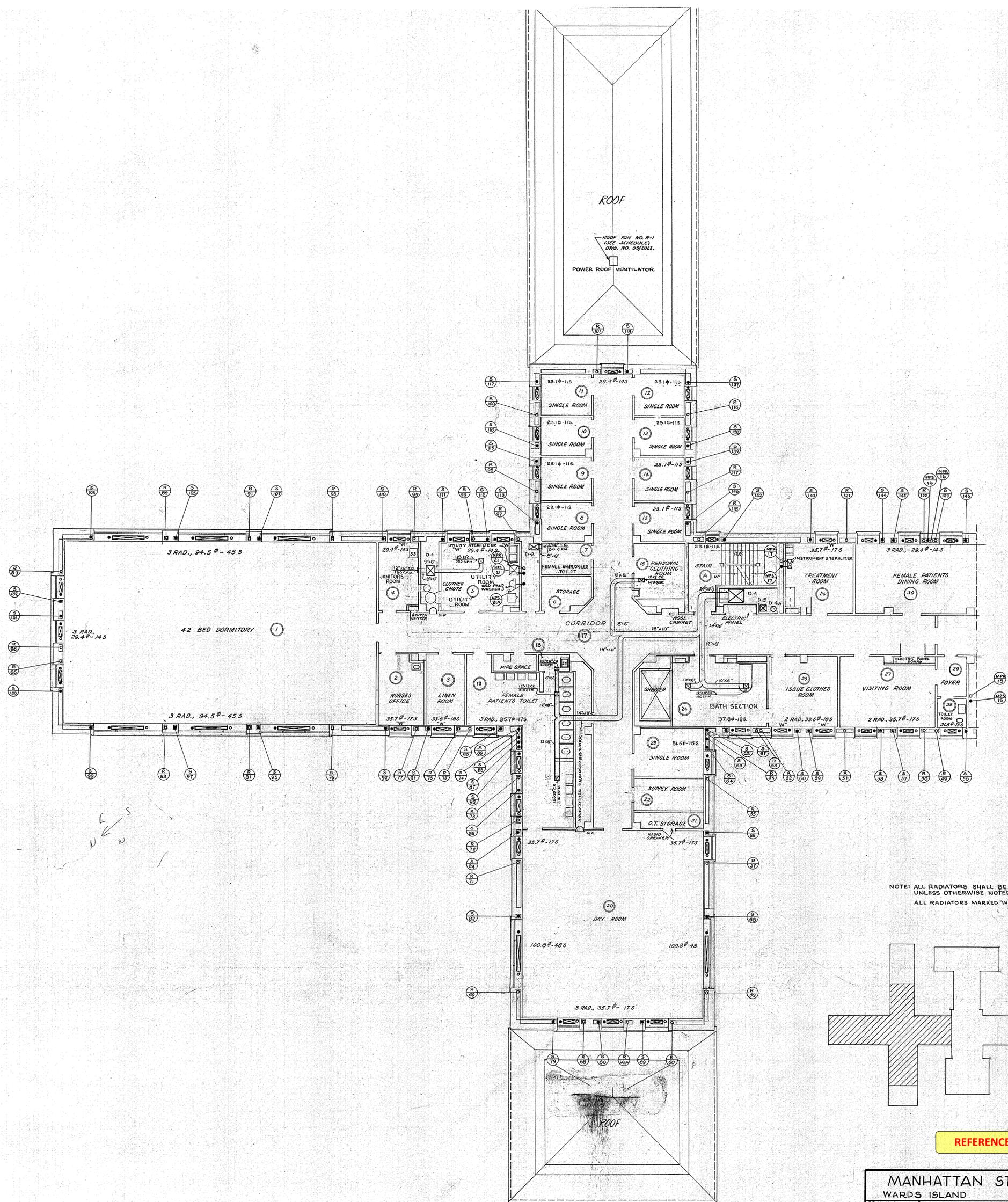
APPROVED BY LETTER NO. 14305
DATE JUNE 2, 1953



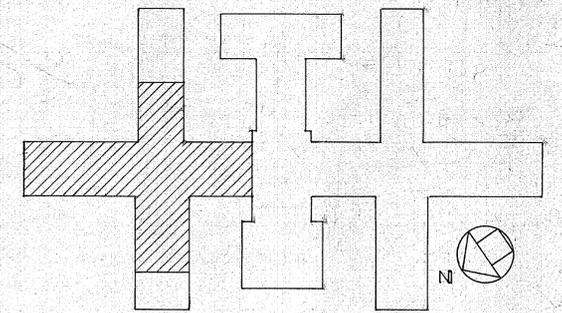
REFERENCE DRAWING

MANNATTAN STATE HOSPITAL WARD ISLAND NEW YORK, N. Y.		
DRAWN BY W. B. AFG	HEATING	PROJECT NO. 8586
TRACED BY E. B. K.	MEDICAL & SURGICAL BUILDING BUILDING NO 102	SPECIFICATION NO. 17722
CHECKED BY J. B.	LEFT SECTION 2ND FLOOR PLAN	DATE MAY 1ST 1953
X-CHECKED BY J. B.		SCALE 3/8" = 1'-0"
FIELD CHECK BY ARCHT ENGR APPROVED BY C. J. WHITE	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT	DRAWING NO. 53/2004

APPROVED BY _____ LETTER NO. 14305
 DATE _____ JUNE 2, 1953



NOTE: ALL RADIATORS SHALL BE 5 TUBE - 22" HIGH, UNLESS OTHERWISE NOTED.
ALL RADIATORS MARKED "W", SHALL BE WALL HUNG.

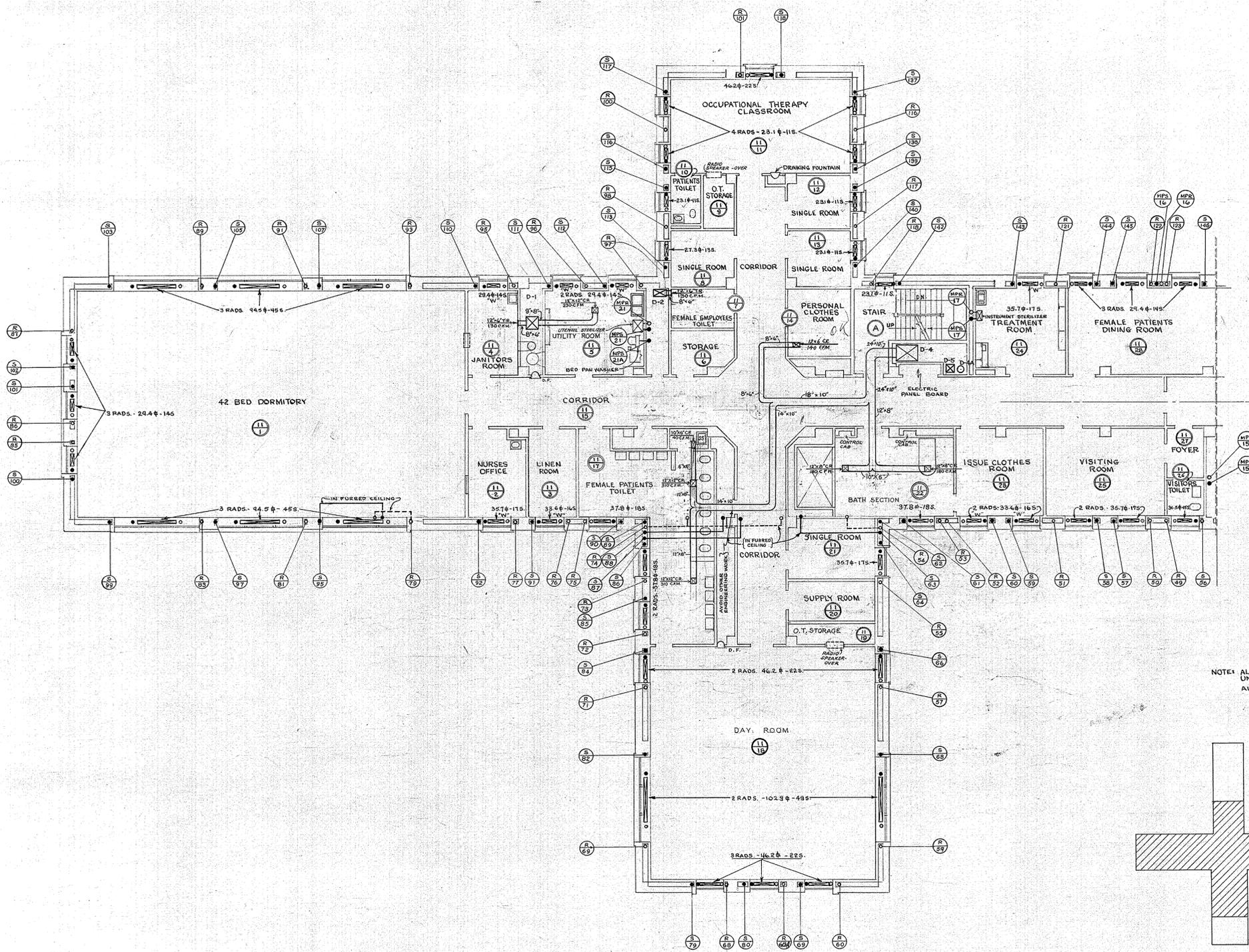


REFERENCE DRAWING

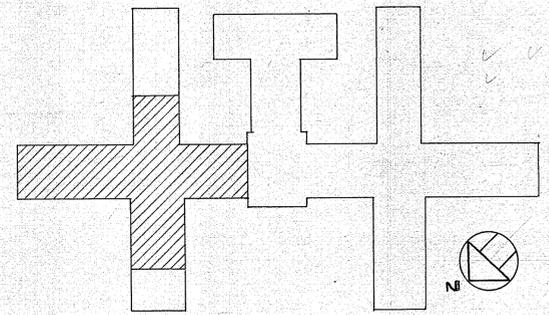
MANHATTAN STATE HOSPITAL WARDS ISLAND NEW YORK, N. Y.		
DRAWN BY WJE: AFB	HEATING	PROJECT NO. 8586
TRACED BY E. B. K.	MEDICAL & SURGICAL BUILDING BUILDING No 102	SPECIFICATION NO. 17722
CHECKED BY J. B.	LEFT SECTION	DATE MAY 15 TH '53
X-CHECKED BY J. B.	3 RD TO 10 TH FLOOR PLAN INCL.	SCALE 1/8" = 1'-0"
FIELD CHECK BY ARCH'T ENG'R	STATE OF NEW YORK DIVISION OF PUBLIC WORKS	DRAWING NO. 53/2005
APPROVED BY 7/16 C. J. W.	CORNELIUS J. WHITE STATE ARCHITECT	

APPROVED BY _____ LETTER No. 14305
DATE _____ JUNE 2, 1953

SHEET SIZE 36x36" = 94"



NOTE: ALL RADIATORS SHALL BE 5 TUBE - 22" HIGH, UNLESS OTHERWISE NOTED.
ALL RADIATORS MARKED 'W', SHALL BE WALL HUNG.

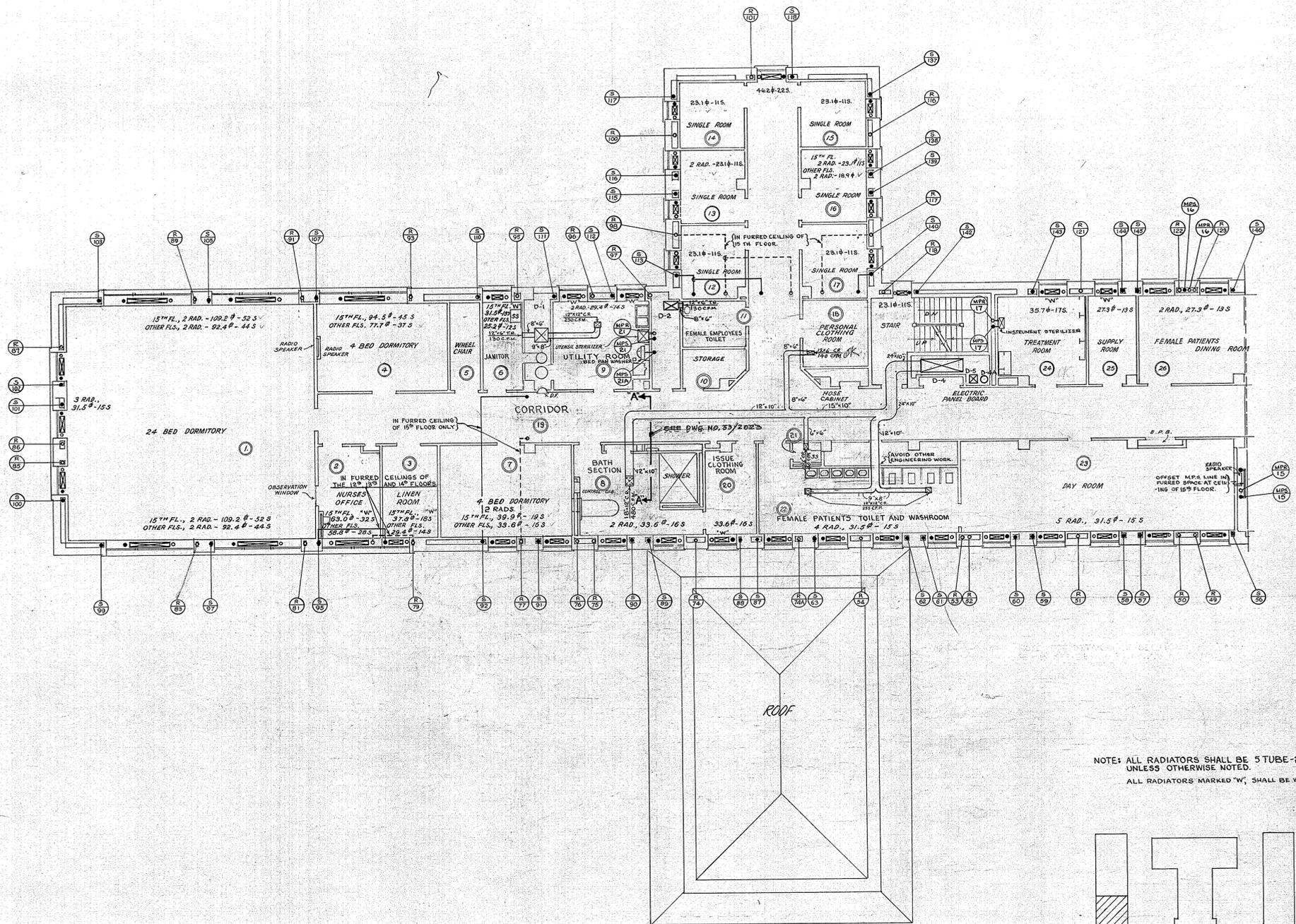


REFERENCE DRAWING

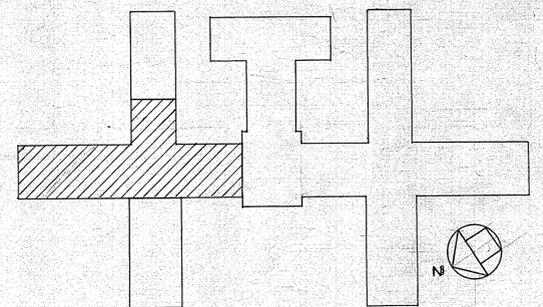
MANHATTAN STATE HOSPITAL		
WARDS ISLAND NEW YORK, N. Y.		
DRAWN BY W. G. A. P.	HEATING	PROJECT NO. 8586
TRACED BY E. B. K.	MEDICAL & SURGICAL BUILDING	SPECIFICATION NO. 17722
CHECKED BY J. B.	BUILDING NO 102	DATE MAY 1, '53
X-CHECKED BY J. B.	LEFT SECTION	SCALE 1/8" = 1'-0"
FIELD CHECKED BY	11 TH FLOOR PLAN	DRAWING NO. 53/2006
APPROVED BY C. J. W.	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT	

APPROVED LETTER NO. 14305

DATE JUNE 2, 1953



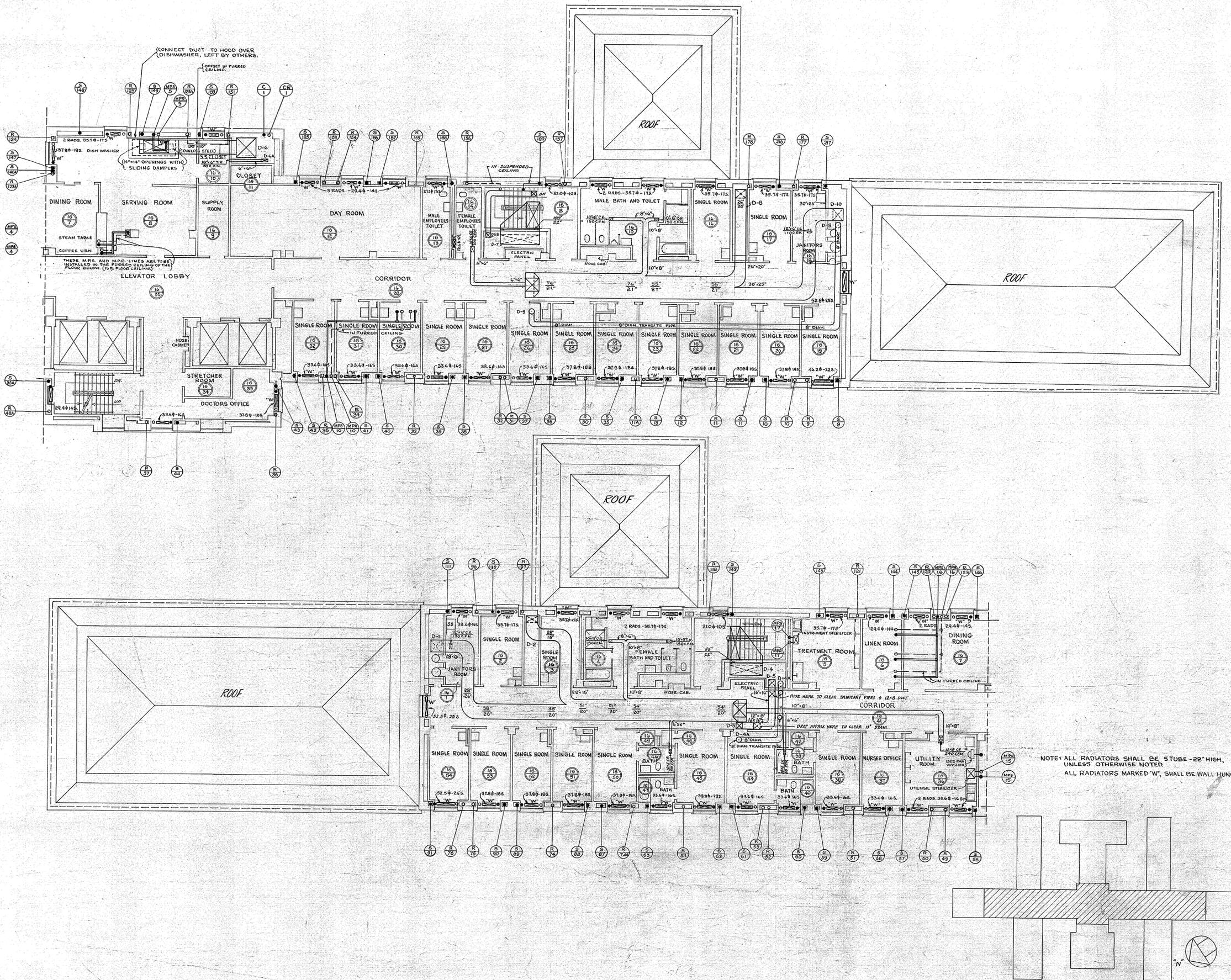
NOTE: ALL RADIATORS SHALL BE 5 TUBE-28" HIGH, UNLESS OTHERWISE NOTED.
ALL RADIATORS MARKED 'W', SHALL BE WALL HUNG.



REFERENCE DRAWING

MANHATTAN STATE HOSPITAL WARDS ISLAND NEW YORK, N. Y.		
DRAWN BY AFC	HEATING	PROJECT NO. 6586
TRACED BY E. B. K.	MEDICAL & SURGICAL BLDG BUILDING NO 102	SPECIFICATION NO. 17722
CHECKED BY J. B.	LEFT SECTION	DATE MAY 15, 53
X-CHECKED BY J. B.	12 TH TO 15 TH FLOOR	SCALE 1/4" = 1'-0"
FIELD CHECK BY ARGHT	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION	DRAWING NO. 53/2007
APPROVED BY [Signature]	CORNELIUS J. WHITE STATE ARCHITECT	

APPROVED BY LETTER NO. 14305
DATE JUNE 2, 1953



NOTE: ALL RADIATORS SHALL BE 5 TUBE - 22" HIGH, UNLESS OTHERWISE NOTED. ALL RADIATORS MARKED 'W', SHALL BE WALL HUNG.

REFERENCE DRAWING

MANHATTAN STATE HOSPITAL		NEW YORK, N.Y.
WARDS ISLAND		PROJECT NO. 8586
HEATING		SPECIFICATION NO. 17722
MEDICAL & SURGICAL BLD'G		DATE MAY 15, '53
BUILDING N°102		SCALE 1/8" = 1'-0"
16 TH FLOOR PLAN		DRAWING NO. 53/2008
STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT		
APPROVED BY _____		LETTER NO. 14305
DATE _____		JUNE 2, 1953

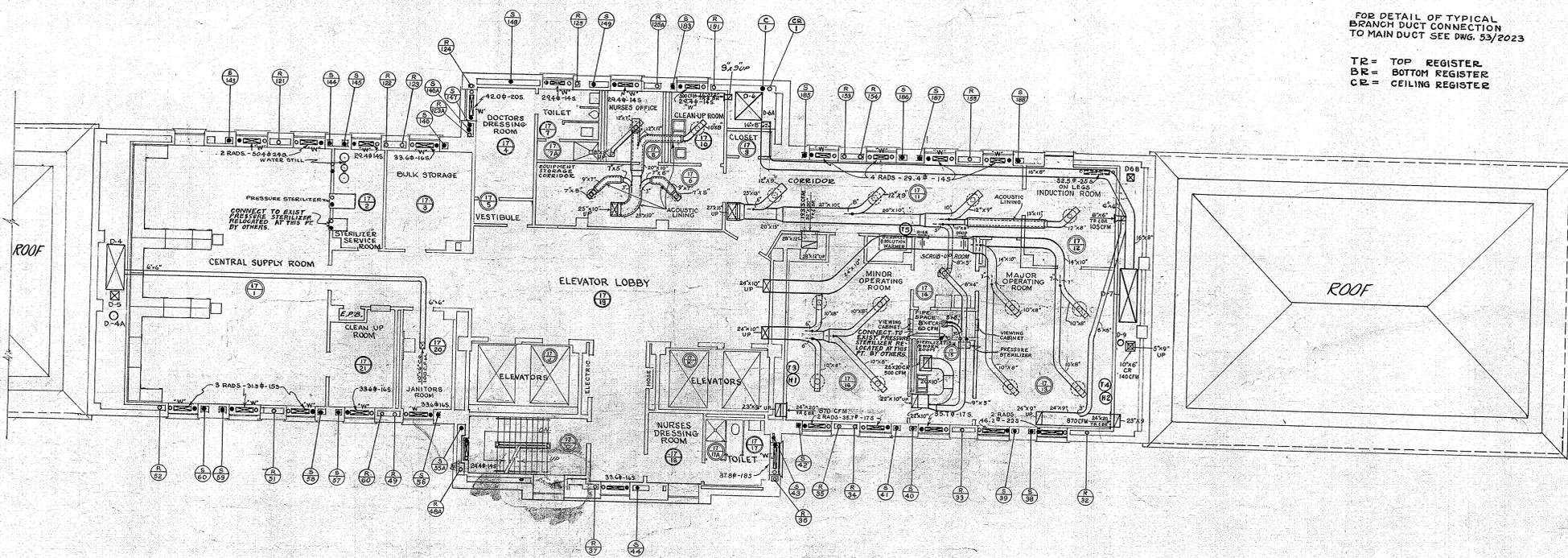
SCHEDULE OF AIR DIFFUSERS			
ROOM NO.	UNIT SUPPLY C.F.M.	UNIT EXHAUST C.F.M.	NO., SIZE AND TYPE *
17/6	100		2-# 12.5-B
17/8	310	225	1-# 25-A-C
17/10	310		1-# 20-B
17/11	433		3-# 25-B
17/12	420		1-# 25-B
17/13	315		4-# 20-B
17/14	120	95	1-# 15-A-C
17/16	310		4-# 20-B

* ANEMOSTAT OR EQUIVALENT

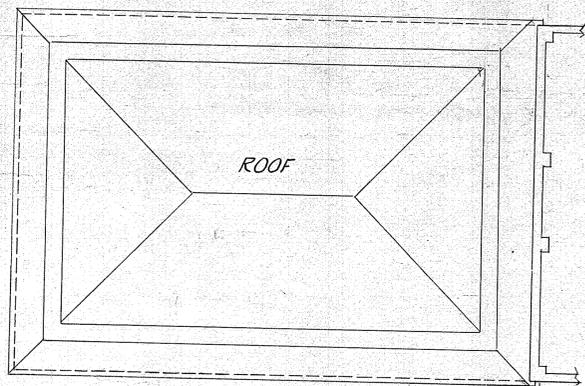
⊖ = ROOM THERMOSTAT
 ⊕ = ROOM HUMIDISTAT

FOR DETAIL OF TYPICAL BRANCH DUCT CONNECTION TO MAIN DUCT SEE DWG. 53/2023

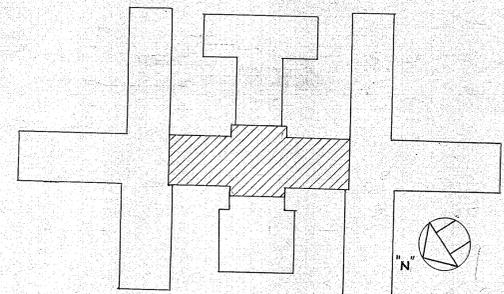
TR = TOP REGISTER
 BR = BOTTOM REGISTER
 CR = CEILING REGISTER



17TH FLOOR PLAN
 OPERATING SUITE



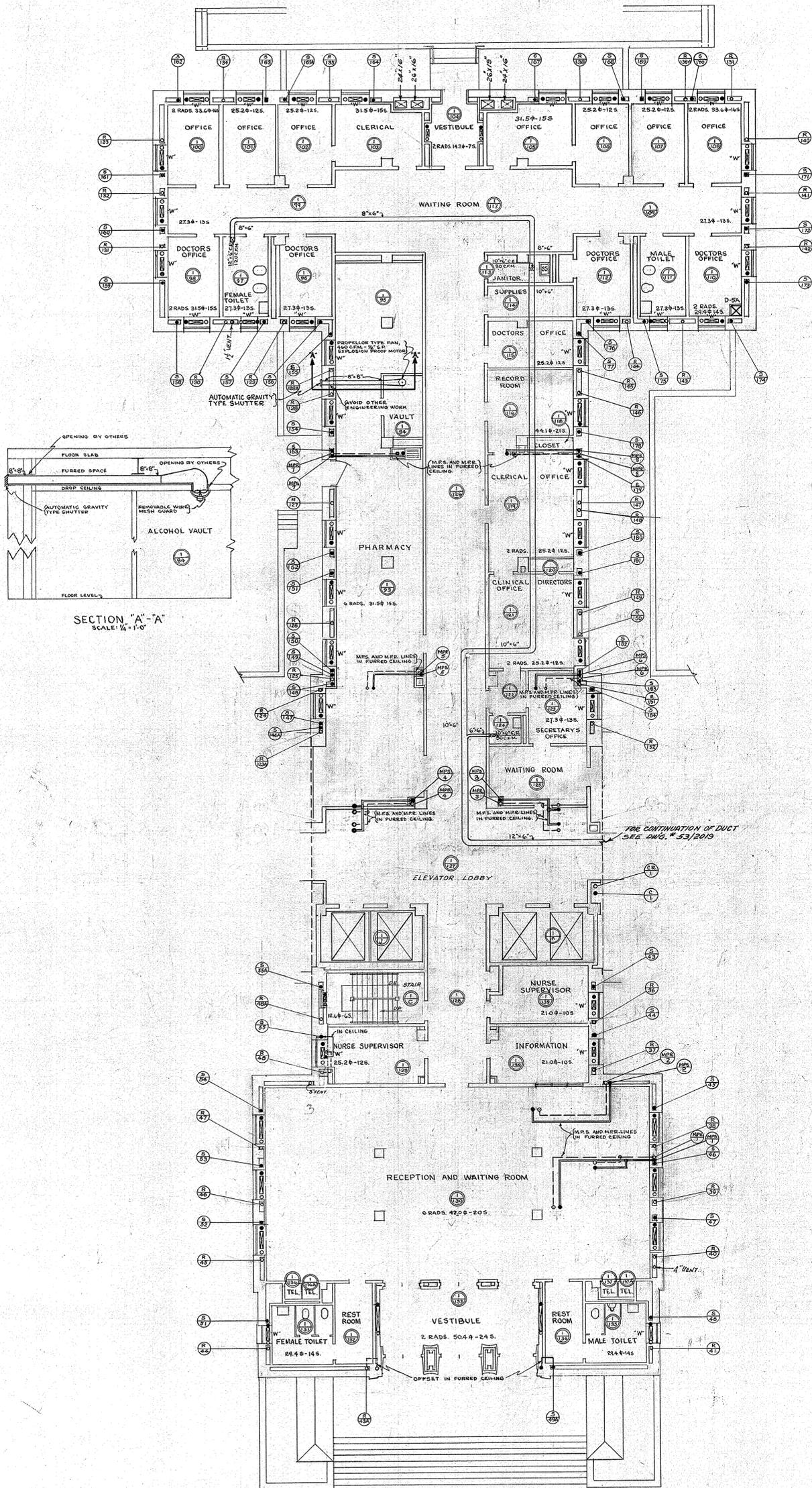
NOTE: ALL RADIATORS SHALL BE 5 TUBE - 22" HIGH, UNLESS OTHERWISE NOTED.
 ALL RADIATORS MARKED 'W', SHALL BE WALL HUNG.



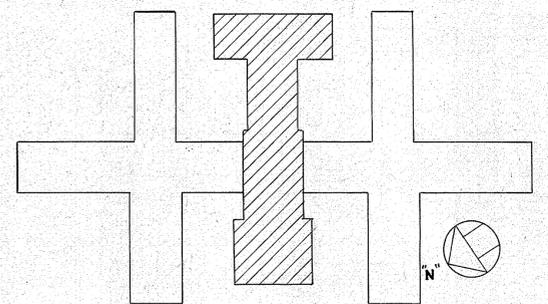
REFERENCE DRAWING

MANHATTAN STATE HOSPITAL WARDS ISLAND NEW YORK, N.Y.		
DRAWN BY WJB: AFG	HEATING	PROJECT NO. 8586
TRACED BY E. B. K.	MEDICAL & SURGICAL BLDG BUILDING N2102	SPECIFICATION NO. 17722
CHECKED BY GJM: J.B.	17 TH FLOOR PLAN	DATE MAY 1-1953
X-CHECKED BY J.B.	STATE OF NEW YORK DIVISION OF PUBLIC WORKS	SCALE 1/4" = 1'-0"
FIELD CHECK BY ARCHT	CORNELIUS J. WHITE STATE ARCHITECT	DRAWING NO. 53/2009
APPROVED BY WJB	LETTER NO. 1430E	
DATE JUNE 2, 1953		

SHEET SIZE 36" x 36" = 96"



SECTION "A"-A
SCALE: 1/4" = 1'-0"

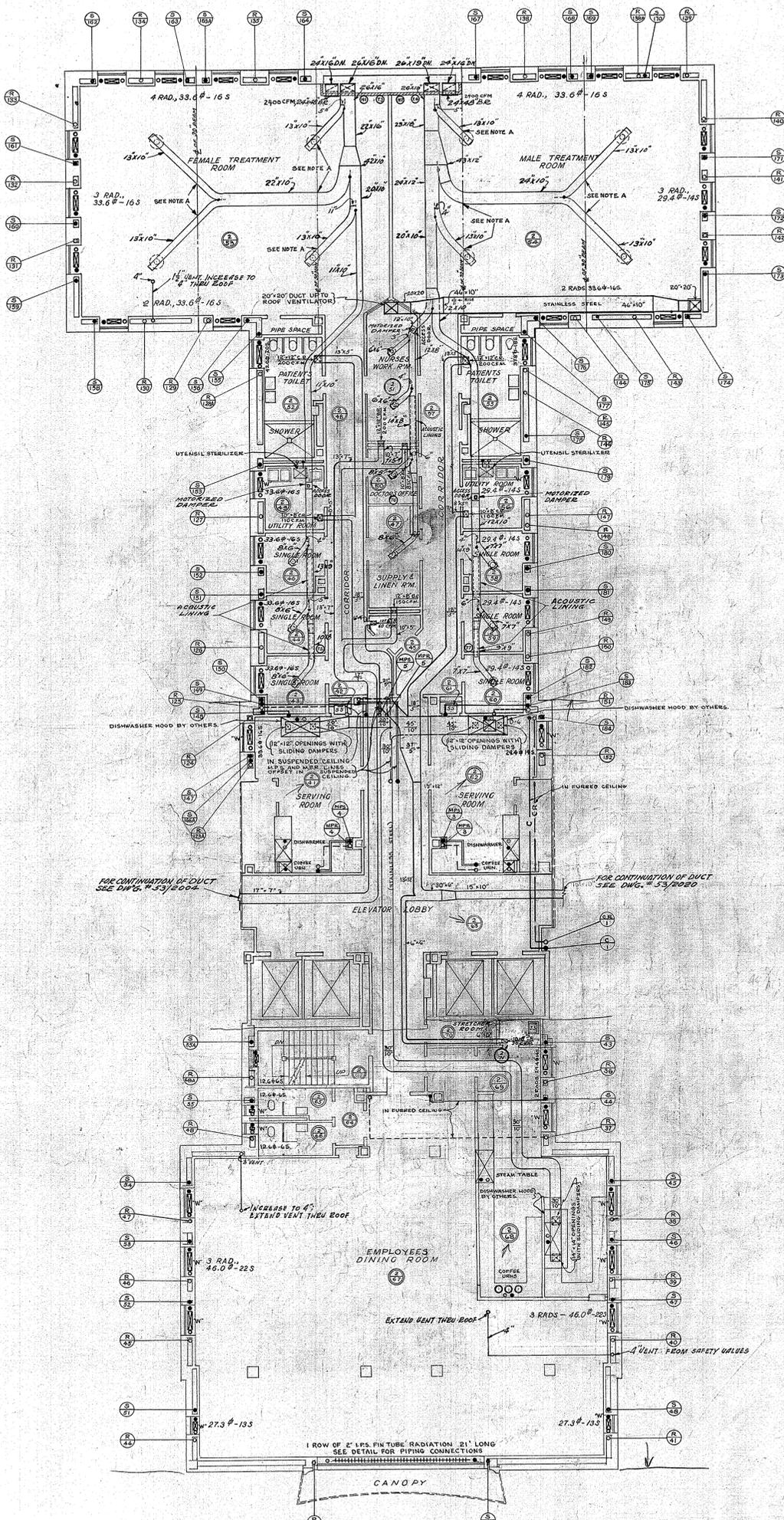


REFERENCE DRAWING

NOTE:-
ALL RADIATORS SHALL BE 5 TUBS-22" HIGH UNLESS OTHERWISE NOTED.
ALL RADIATORS MARKED "W", SHALL BE WALL HUNG.

MANHATTAN STATE HOSPITAL WARDS ISLAND NEW YORK, N. Y.		
DRAWN BY J.B.	HEATING	PROJECT NO. 8586
TRACED BY E. B. K.	MEDICAL & SURGICAL BUILDING	SPECIFICATION NO. 17722
CHECKED BY J.B.	BUILDING NO 102	DATE MAY 1 ST '53
X-CHECKED BY J.B.	CENTER SECTION	SCALE 1/8" = 1'-0"
FIELD CHECK BY ARCHT ENGR	1 ST FLOOR PLAN	DRAWING NO. 53/2012
APPROVED BY [Signature]	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT	

APPROVED BY _____ LETTER No. 14305
DATE _____ JUNE 2, 1953



SCHEDULE OF AIR DIFFUSERS			
ROOM NO.	UNIT SUPPLY C.F.M.	NO., SIZE, AND TYPE *	
2/53	565	4-25-B	
2/54	585	4-25-B	
2/51	115	2-12.5-B	
2/50	115	1-12.5-B	
2/47	150	1-12.5-B	
2/58	160	1-15-B	
2/59	160	1-15-B	
2/60	160	1-15-B	
2/46	145	1-12.5-B	
2/44	145	1-12.5-B	
2/43	145	1-12.5-B	

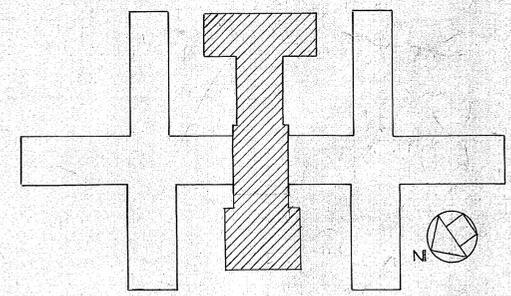
⊕ = ROOM THERMOSTAT
 ⊕ = ROOM HUMIDSTAT

FOR DETAIL OF TYPICAL BRANCH DUCT CONNECTION TO MAIN DUCT SEE DWG. 53/2023

BR = BOTTOM REGISTER

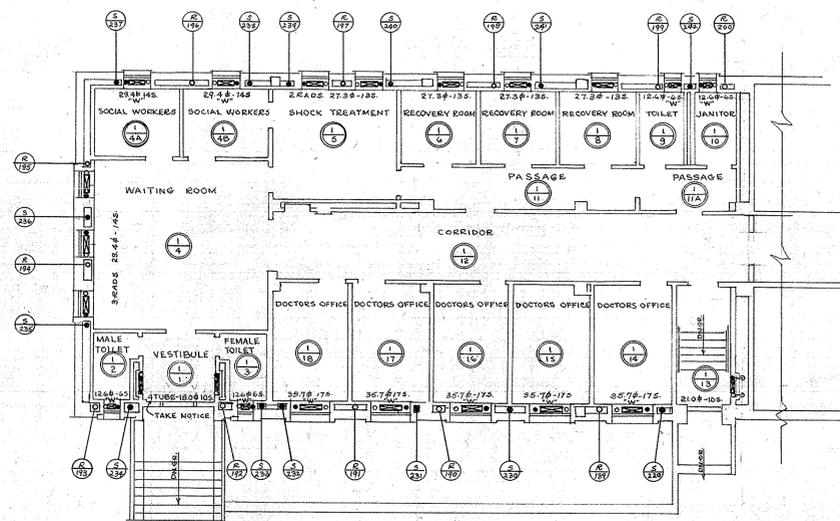
NOTE A
 AT THE LOCATIONS WHERE THE DUCTS CROSS THE 30" BEAMS, DUCT TO BE CLOSE TO BEAM AND INSULATION ON TOP OF DUCT TO BE OMITTED.

NOTE: ALL RADIATORS SHALL BE 5 TUBE - 22" HIGH, UNLESS OTHERWISE NOTED.
 CONNECT DUCTS TO HOODS OVER DISHWASHERS LEFT BY OTHERS.
 ALL RADIATORS MARKED 'W', SHALL BE WALL HUNG.

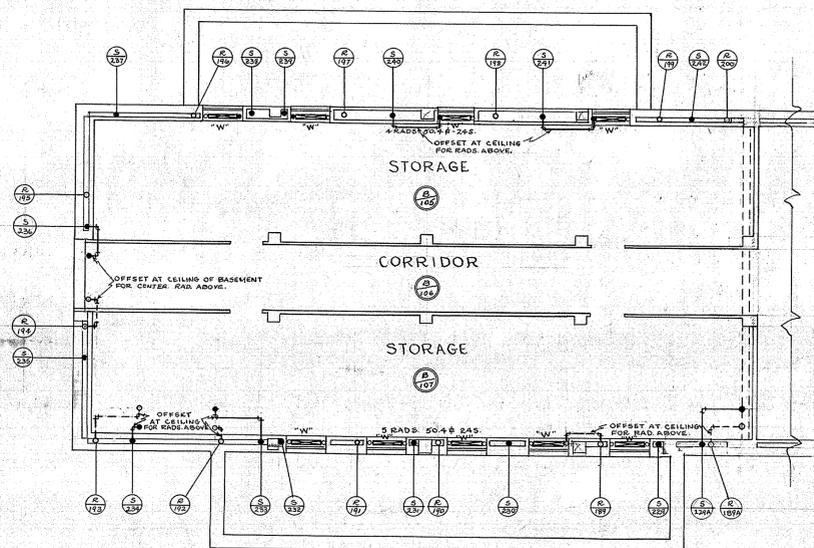


REFERENCE DRAWING

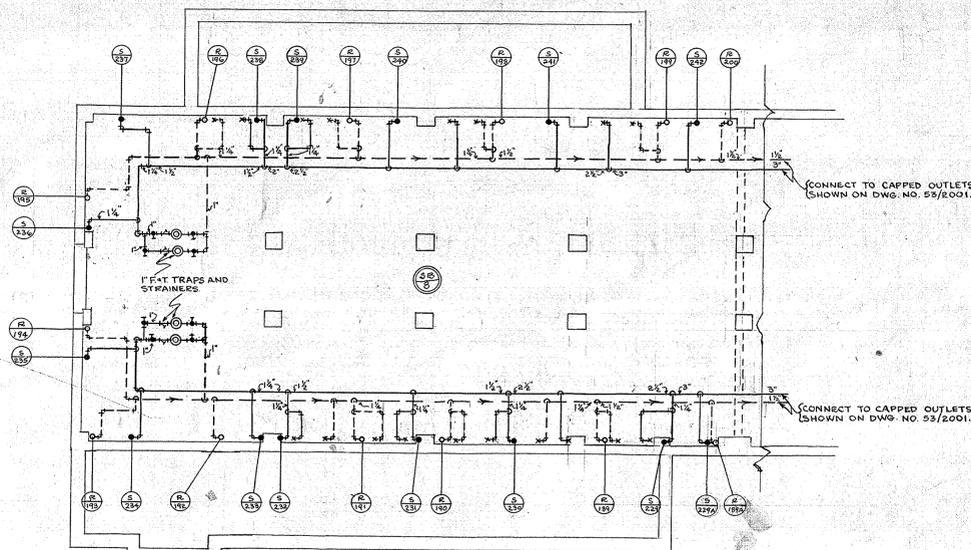
MANHATTAN STATE HOSPITAL WARDS ISLAND NEW YORK, N. Y.		
DRAWN BY W.J.P. A.K. 68	PROJECT NO. 8586	
TRACED BY E. B. K.	SPECIFICATION NO. 17722	
CHECKED BY G.J.M. J.B.	DATE MAY 1953	
X-CHECKED BY J.B.	SCALE 1/4" = 1'-0"	
FIELD CHECK BY ARCHT. ENGR.	DRAWING NO. 53/2013	
APPROVED BY M.W.	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT	
APPROVED BY	LETTER NO. 14305	
DATE	JUNE 2, 1953	



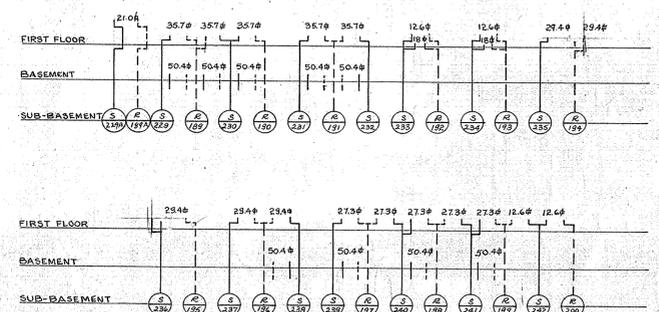
FIRST FLOOR PLAN



BASEMENT FLOOR PLAN

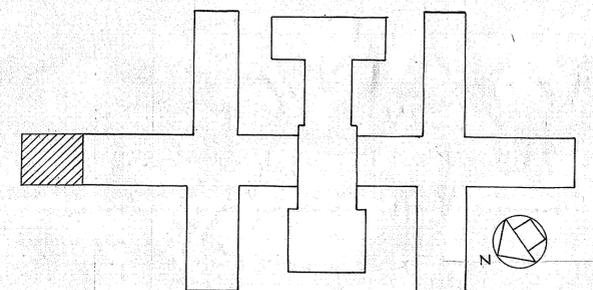


SUB-BASEMENT FLOOR PLAN



L.P. STEAM RISER DIAGRAM
No SCALE

NOTE: ALL LOW PRESSURE RISERS AND RUNOUTS NOT SIZED, SHALL BE 1" UNLESS OTHERWISE NOTED.
"X" DENOTES BASEMENT FLOOR RADIATOR CONNECTION.
ALL RADIATORS SHALL BE 5 TUBE 22" HIGH UNLESS OTHERWISE NOTED.
ALL RADIATORS MARKED "W" SHALL BE WALL HUNG.



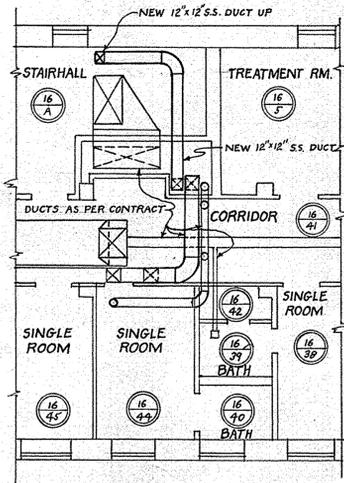
REFERENCE DRAWING

MANHATTAN STATE HOSPITAL WARDS ISLAND, NEW YORK, N.Y.		
HEATING		PROJECT NO. 8586
DRAWN BY WJB	MEDICAL SURGICAL BUILDING BUILDING NO 102	SPECIFICATION NO. 17722
TRACED BY WJB	ADDENDUM DRAWING	DATE JULY 24 1953
CHECKED BY J.B.	OUT-PATIENTS DEPARTMENT	SCALE 1/8" = 1'-0"
X-CHECKED BY J.B.	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION	DRAWING NO. 53/2032
FIELD CHECKED BY	CORNELIUS J. WHITE STATE ARCHITECT	
APPROVED BY		

APPROVED DEPT. OF MENTAL HYGIENE, LETTER NO. 14305
DATE JUN 2, 1953

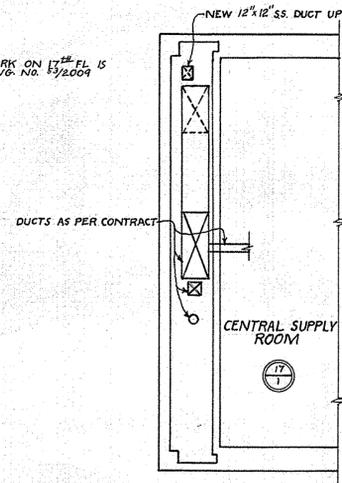
SHEET SIZE 36" x 36" - 98

CONTRACT WORK ON 16TH FL IS SHOWN ON DWG. NO. 53/2008.



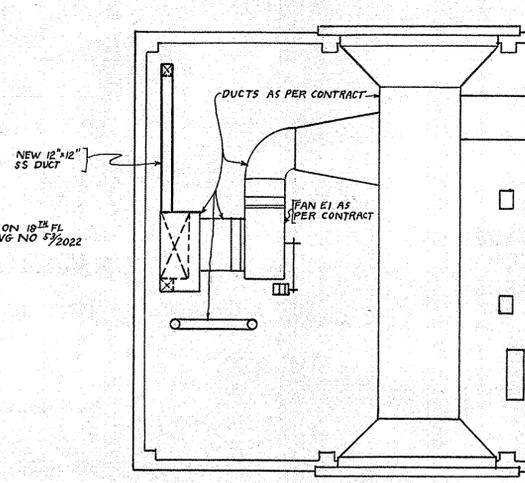
PART 16TH FLOOR PLAN
SCALE: 1/8"=1'-0"

CONTRACT WORK ON 17TH FL IS SHOWN ON DWG. NO. 53/2009.

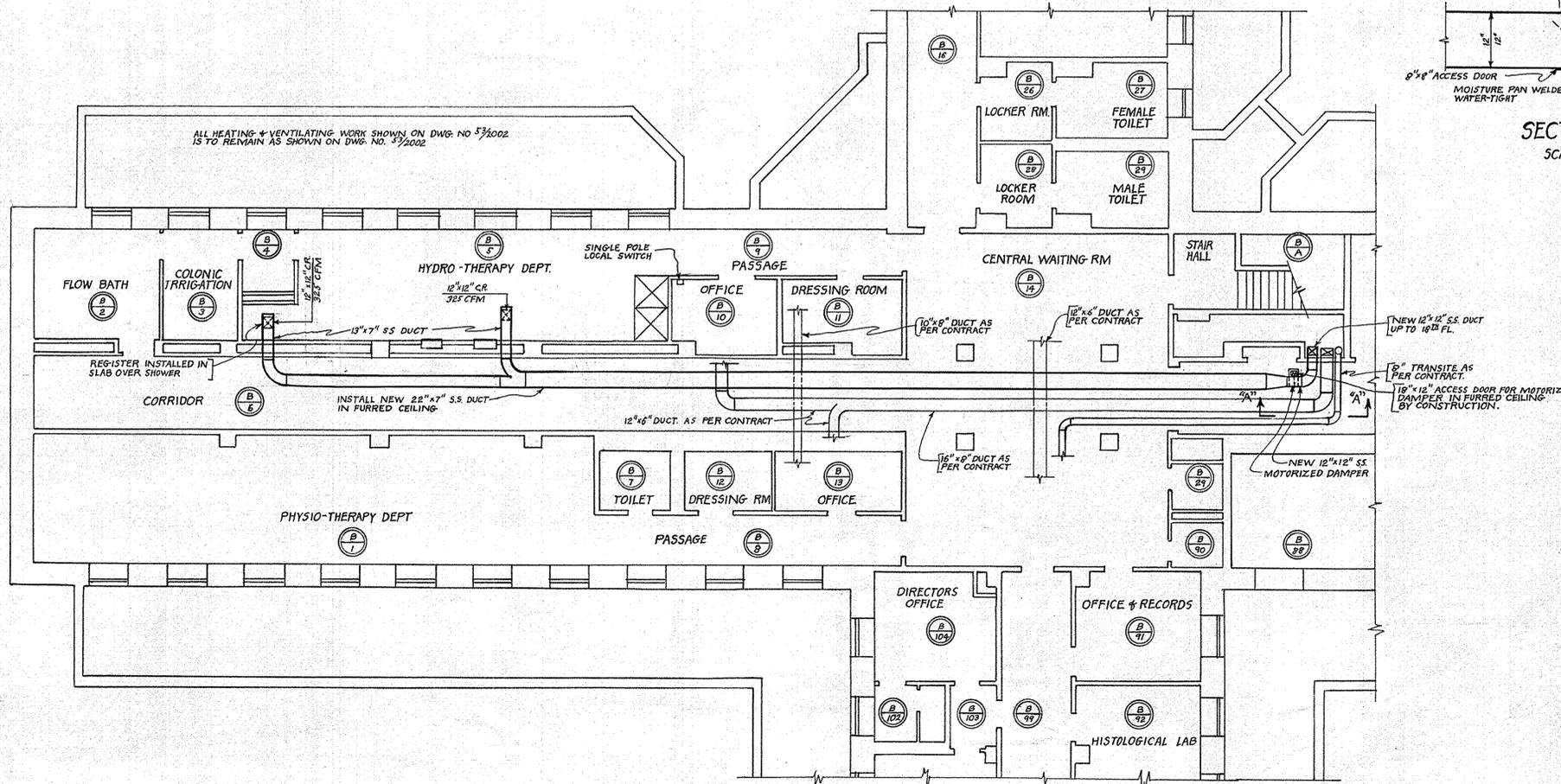


PART 17TH FLOOR PLAN
SCALE: 1/8"=1'-0"

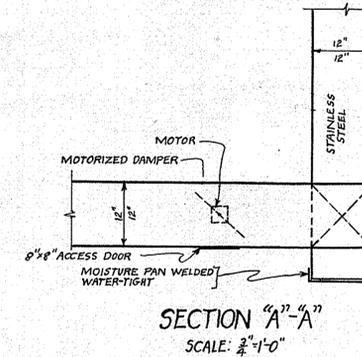
CONTRACT WORK ON 18TH FL IS SHOWN ON DWG. NO. 53/2022.



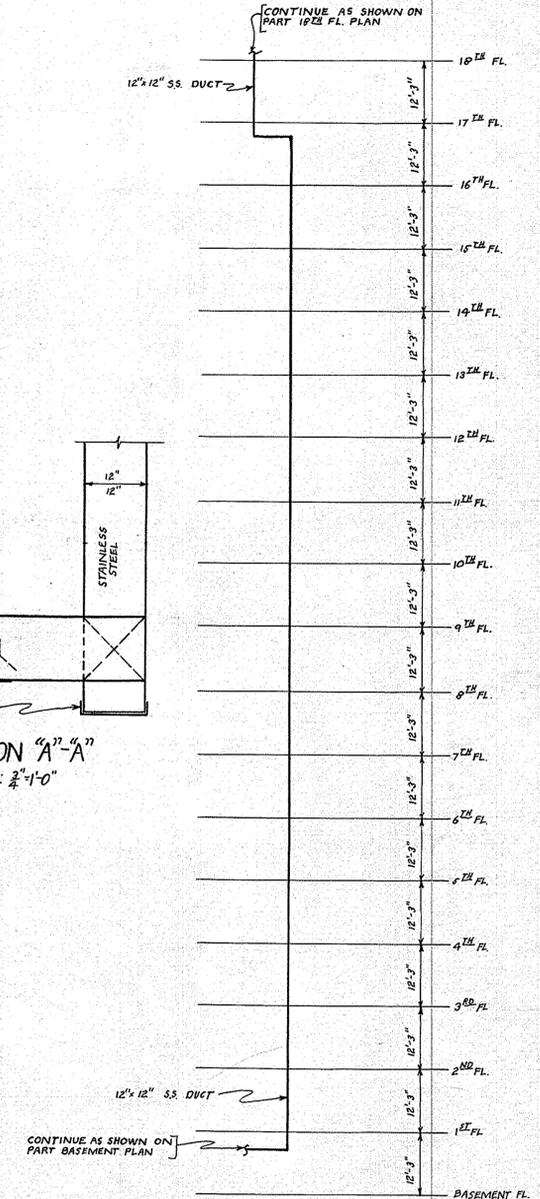
PART 18TH FLOOR PLAN
SCALE: 1/8"=1'-0"



PART BASEMENT PLAN
SCALE: 1/8"=1'-0"



SECTION "A"-A"
SCALE: 1/4"=1'-0"



RISER DIAGRAM FOR ADDITIONAL DUCT
SCALE: NONE

REFERENCE DRAWING

MANHATTAN STATE HOSPITAL		
WARDS ISLAND	NEW YORK, N.Y.	PROJECT NO. 8586
DRAWN BY AFG	HEATING	SPECIFICATION NO. 17722
TRACED BY AFG	MEDICAL & SURGICAL BUILDING-BUILDING NO. 102	DATE MARCH 22, 1954
CHECKED BY		SCALE AS NOTED
X-CHECKED BY	VENTILATION OF HYDRO-THERAPY DEPARTMENT	DRAWING NO. 54/2033
FIELD CHECK BY ARCH'T ENG'R	STATE OF NEW YORK DEPARTMENT OF PUBLIC WORKS DIVISION OF CONSTRUCTION CORNELIUS J. WHITE STATE ARCHITECT	

APPROVED BY _____
DATE _____